



Office Use Only

Application Number: _____ Date Lodged: / /

VicSmart: Yes NoVicSmart Class: _____

Application for a Planning Permit

Privacy Statement

Your application and the personal information on this form is collected by Central Goldfields Shire Council (the Shire) for the purposes of the planning process as set out in the Planning and Environment Act 1987 (PE Act).

If you do not provide your name and address, the Shire will not be able to consider your application.

Your application will be available at the Shire offices for any person to inspect and copies may be made available on request to any person for the relevant period set out in the PE Act.

You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.

You can request access to your personal information by contacting the Shire Town Planning Department.

Questions marked with a star (★) must be completed.

If the space provided on the form is insufficient, attach a separate sheet.

Application Type

Is this a VicSmart application? ★

No Yes

If yes, please specify which
VicSmart class or classes: _____

⚠ If the application falls into one of the classes listed under Clause 92 or the schedule to Clause 94, it is a VicSmart application.

Pre-Application Meeting

Has there been a pre-application meeting with a Council planning officer?

No Yes

If 'Yes', with whom?: _____

Date: _____ day / month / year

The Land

Civic address of the land ★

Unit No.:	St. No.: 10	St. Name: DUNDAS ROAD
Suburb/Locality: MARYBOROUGH	Postcode: 3465	

Formal land description ★

① Complete either A or B. This information can be found on the certificate of title. If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.:	<input type="radio"/> Lodged Plan	<input checked="" type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.: TP844119D
OR					
B	Crown Allotment No.: 2	Section No.: 66A			
Parish/Township Name: MARYBOROUGH					

The Proposal

For what use, development or other matter do you require a permit? ★

① You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

EXTENSION TO EXISTING DWELLING, CONSTRUCTION OF OUTDOOR AREA AND FRONT VERANDAH

Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Estimated cost of development for which the permit is required ★

Cost \$ 85,000	▲ You may be required to verify this estimate. Insert '0' if no development is proposed.
If the application is for land within metropolitan Melbourne (as defined in section 3 of the <i>Planning and Environment Act 1987</i>) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.	

Existing Conditions

Describe how the land is used and developed now ★

① For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing,—

EXISTING RESIDENCIAL LAND WITH EXISTING SINGLE STORY WEATHERBOARD DWELLING / SHEDDING
<input checked="" type="checkbox"/> Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title ★

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?
<input type="radio"/> Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
<input checked="" type="radio"/> No
<input type="radio"/> Not applicable (no such encumbrance applies).
<input checked="" type="checkbox"/> Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Applicant ★

- ① The applicant is the person who wants the permit.
- ① Please provide at least one contact phone number and a full postal address.
- ① Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Name:			
Title:	First Name:	Surname:	
Organisation (if applicable): CRAIG STEEL BUILDING DESIGN PTY LTD			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.:	St. Name: PO BOX 403	
Suburb/Locality: MARYBOROUGH	State: VIC	Postcode: 3465	
Contact information for applicant OR contact person below			
Business phone: (03) 54613008	Email: csbuilding@bigpond.com		
Mobile phone: 0417 389 634	Fax:		
Contact person's details* Same as applicant <input checked="" type="checkbox"/>			
Name:			
Title:	First Name:	Surname:	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.:	St. Name:	
Suburb/Locality:	State:	Postcode:	

Owner ★

- ① The person or organisation who owns the land.
- ① Where the owner is different from the applicant, provide the details of that person or organisation.

Name:				Same as applicant <input type="checkbox"/>
Title:	First Name: █████	Surname: █████		
Organisation (if applicable):				
Postal Address:		If it is a P.O. Box, enter the details here:		
Unit No.:	St. No.: █████	St. Name: █████		
Suburb/Locality: █████	State: █████	Postcode: █████		
Owner's Signature (Optional):				Date: day / month / year

Information Requirements

Is the required information provided? ★


① Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist.

<input type="radio"/> Yes
<input type="radio"/> No

Declaration


This form must be signed by the applicant? ★

① Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.	
Signature: 	Date: 8 AUGUST 2024 <small>day / month / year</small>

Checklist

Have you?

<input type="checkbox"/>	Filled in the form completely?	
<input type="checkbox"/>	Paid or included the application fee?	 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
<input checked="" type="checkbox"/>	Provided all necessary supporting information and documents?	
<input type="checkbox"/>	A full, current copy of title information for each individual parcel of land forming the subject site.	
<input type="checkbox"/>	A plan of existing conditions.	
<input type="checkbox"/>	Plans showing the layout and details of the proposal.	
<input type="checkbox"/>	Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.	
<input type="checkbox"/>	If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).	
<input type="checkbox"/>	If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.	
<input type="checkbox"/>	Completed the relevant council planning permit checklist?	
<input type="checkbox"/>	Signed the declaration above?	

Need help with this application?

- ① If you need help to complete this form, read More Information at the end of this form.
 - ① For help with a VicSmart application see Applicant's Guide to Lodging a VicSmart Application at www.planning.vic.gov.au
 - ① General information about the planning process is available at www.planning.vic.gov.au
 - ① Assistance can also be obtained from Council's planning department.
-

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Central Goldfields Shire Council
PO Box 194, Maryborough VIC 3465
22 Nolan Street, Maryborough VIC 3465
Contact Information
Telephone: (03) 5461 0610
Fax: (03) 5461 0666
Email: mail@cgoldshire.vic.gov.au

Deliver application in person, by fax, by email or by post:

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address.

Payment

Payment can be made in person at the Shire offices by cheque, cash, or card.

If posting your application, payment can also be made by including a cheque with your application documentation.

For applications submitted by email or for those wishing to pay by card and unable to visit the Shire offices in person, card payment can be made over the telephone after your application has been lodged.

- ① If you are unsure of the correct application fee, please contact the Shire Town Planning Department.
-

**PROPOSED EXTENSION & OUTDOOR AREA TO
EXISTING RESIDENCE FOR : E WEIR, 10 DUNDAS
ROAD MARYBOROUGH, VIC, 3465**

DRAWING NUMBER	DESCRIPTION
W1217/24/01	COVER SHEET & DRAWING INDEX
W1217/24/02	EXISTING FLOOR PLAN
W1217/24/03	EXISTING ELEVATIONS
W1217/24/04	PROPOSED FLOOR PLAN
W1217/24/05	OVERALL FLOOR PLAN
W1217/24/06	WINDOW DETAILS
W1217/24/07	ELEVATIONS A & C
W1217/24/08	ELEVATIONS B & D
W1217/24/09	OVERALL SITE PLAN
W1217/24/10	SHADOW DETAILS

SITE INFORMATION	
MUNICIPALITY	- CENTRAL GOLDFIELDS SHIRE COUNCIL
PLANNING DETAILS	GRZ (GENERAL RESIDENTIAL ZONE
ZONING	HERITAGE (HO)
OVERLAYS	LOT 2, TP 844119D
TITLE INFORMATION	TOWNSHIP OF MARYBOROUGH
	PARISH OF MARYBOROUGH
	VOLUME 8021, FOLIO 167
	LAND AREA 1012m ²
WIND CLASSIFICATION	- N2
CLIMATE ZONE	- 6
BAL LEVEL	- BAL "Low"



PO BOX 403
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Ph (03) 54613008 Fax (03) 54613009

"WEIR RESIDENCE"
**PROPOSED EXTENSION & OUTDOOR
AREA TO EXISTING RESIDENCE FOR :
E WEIR, 10 DUNDAS ROAD
MARYBOROUGH, VIC, 3465**

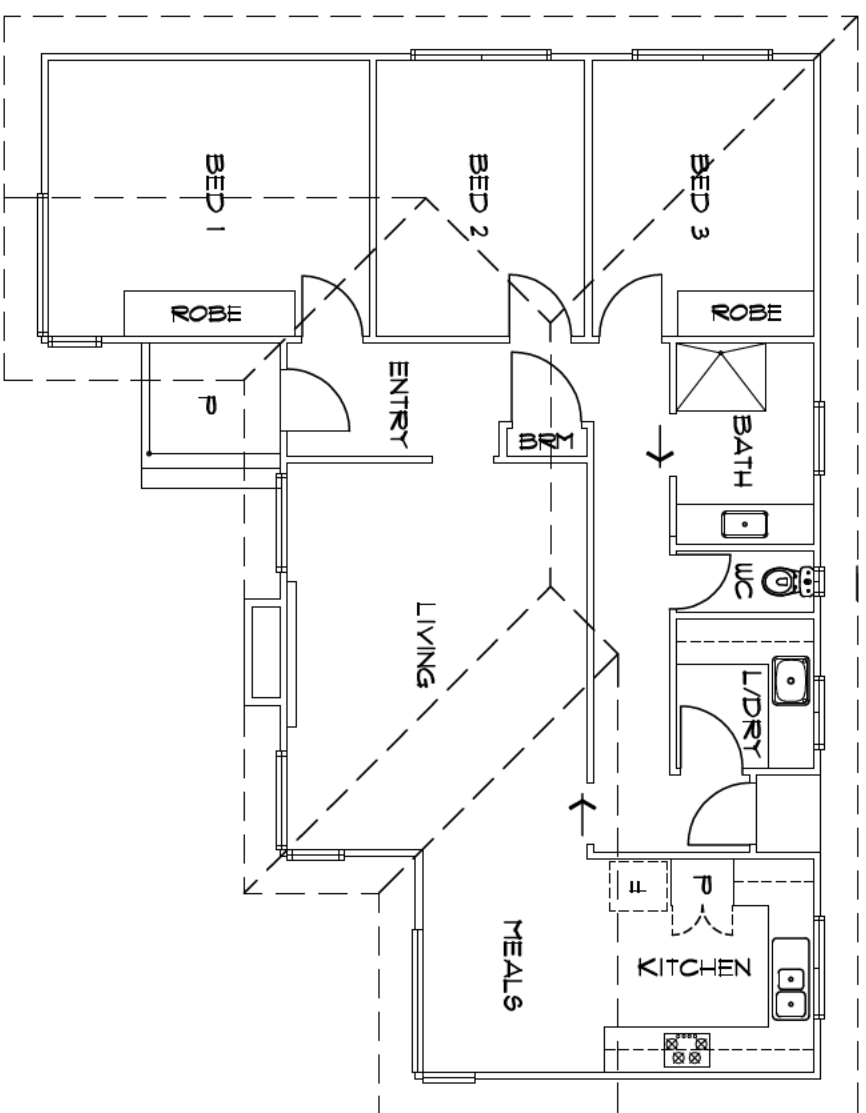
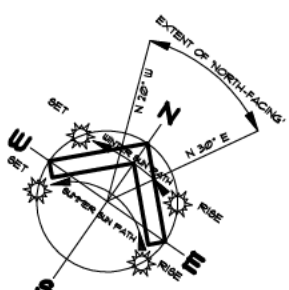
COVER SHEET / INDEX

Designed C STEEL AUGUST 2024
Checked C STEEL Date 8 AUGUST 2024



Sheet 1 OF 10 Scale NTS (A3)
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FOR PLANNING PERMIT
ISSUE DATE
8 AUGUST 2024



BUILDING AREAS :	
EXISTING LIVING	- 102.98m ² (1107 sq)
PORCH	- 25.4m ² (275sq)
TOTAL	- 105.52m ² (1134sq)

EXISTING FLOOR PLAN 1 : 100
 AS 3959-2018 BAL "LOW"

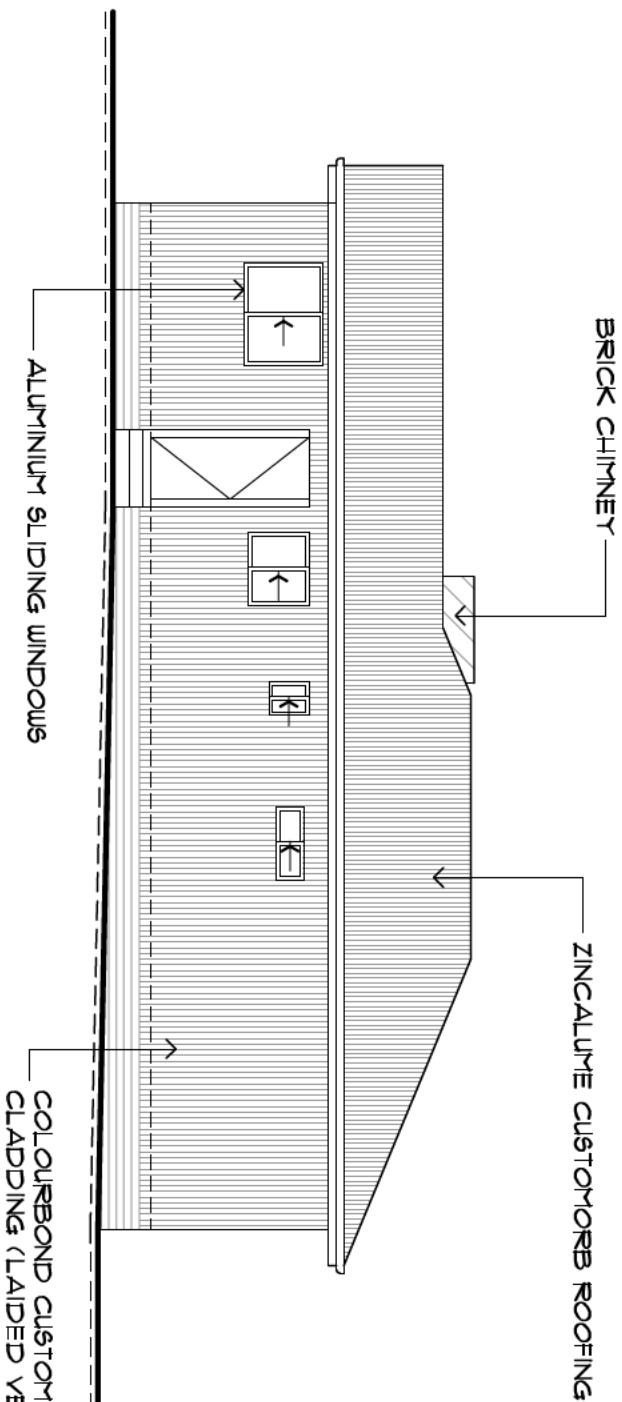


CRAIG STEEL
Building design
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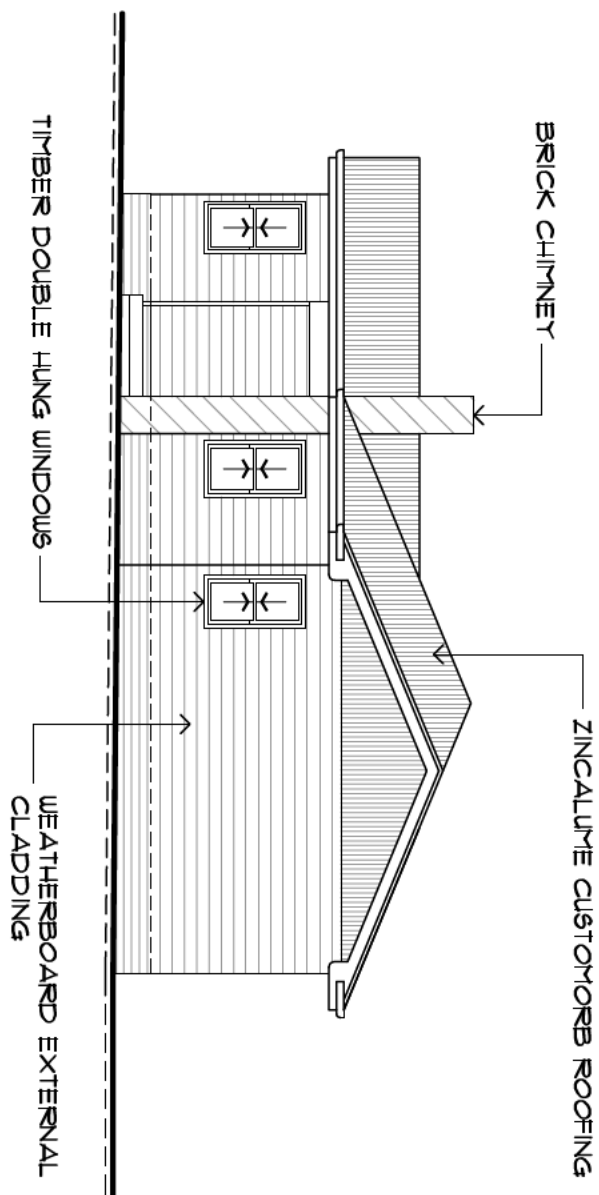
"WEIR RESIDENCE"
 PROPOSED EXTENSION & OUTDOOR
 AREA TO EXISTING RESIDENCE FOR :
 E WEIR, 10 DUNDAS ROAD
 MARYBOROUGH, VIC, 3465

EXISTING FLOOR PLAN
 Designed C STEEL AUGUST 2024
 Checked C STEEL Date 8 AUGUST 2024

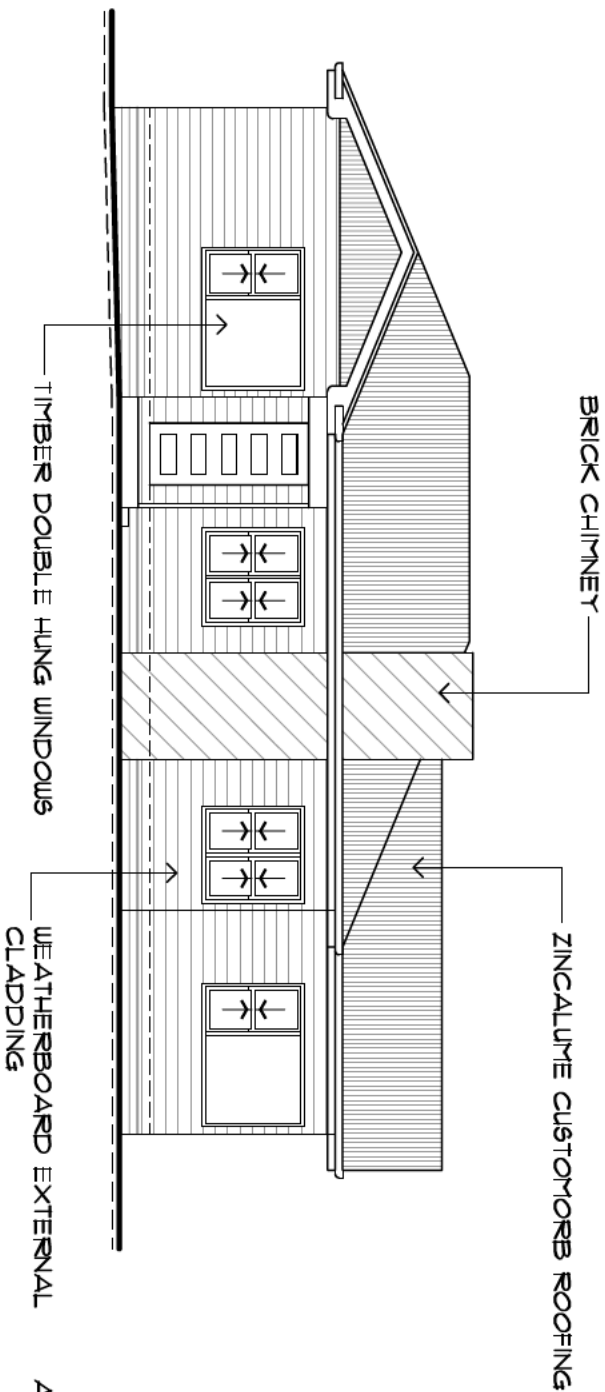
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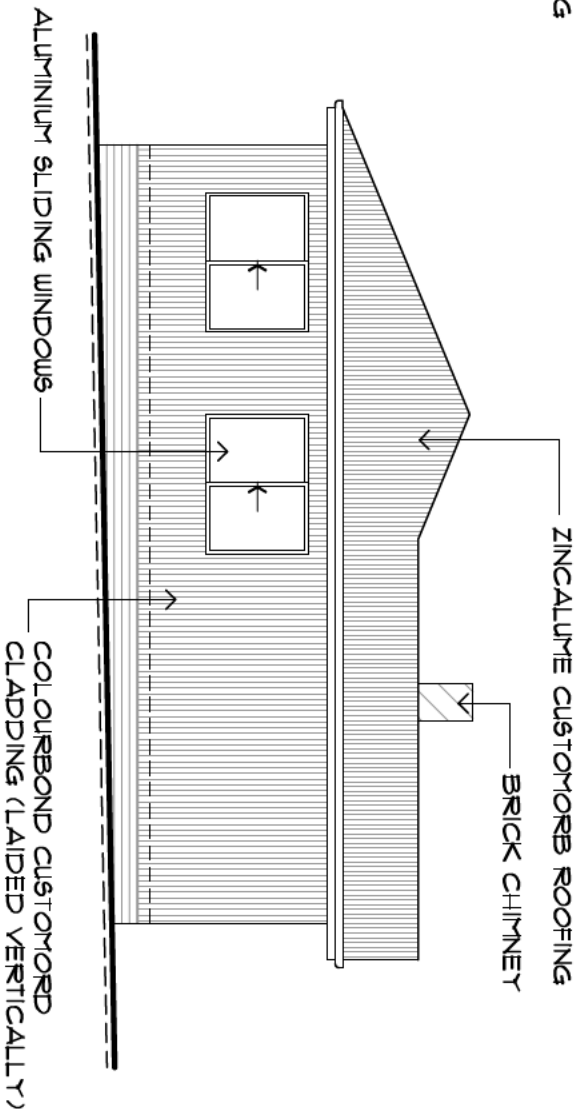
ELEVATION B 1 : 100



ELEVATION D 1 : 100



ELEVATION A 1 : 100



ELEVATION C 1 : 100



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"WEIR RESIDENCE"
 PROPOSED EXTENSION & OUTDOOR
 AREA TO EXISTING RESIDENCE FOR :
 E WEIR, 10 DUNDAS ROAD
 MARYBOROUGH, VIC, 3465

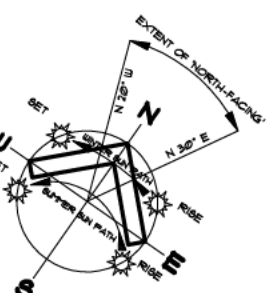
EXISTING ELEVATIONS

Designed C STEEL AUGUST 2024
 Checked C STEEL Date 8 AUGUST 2024

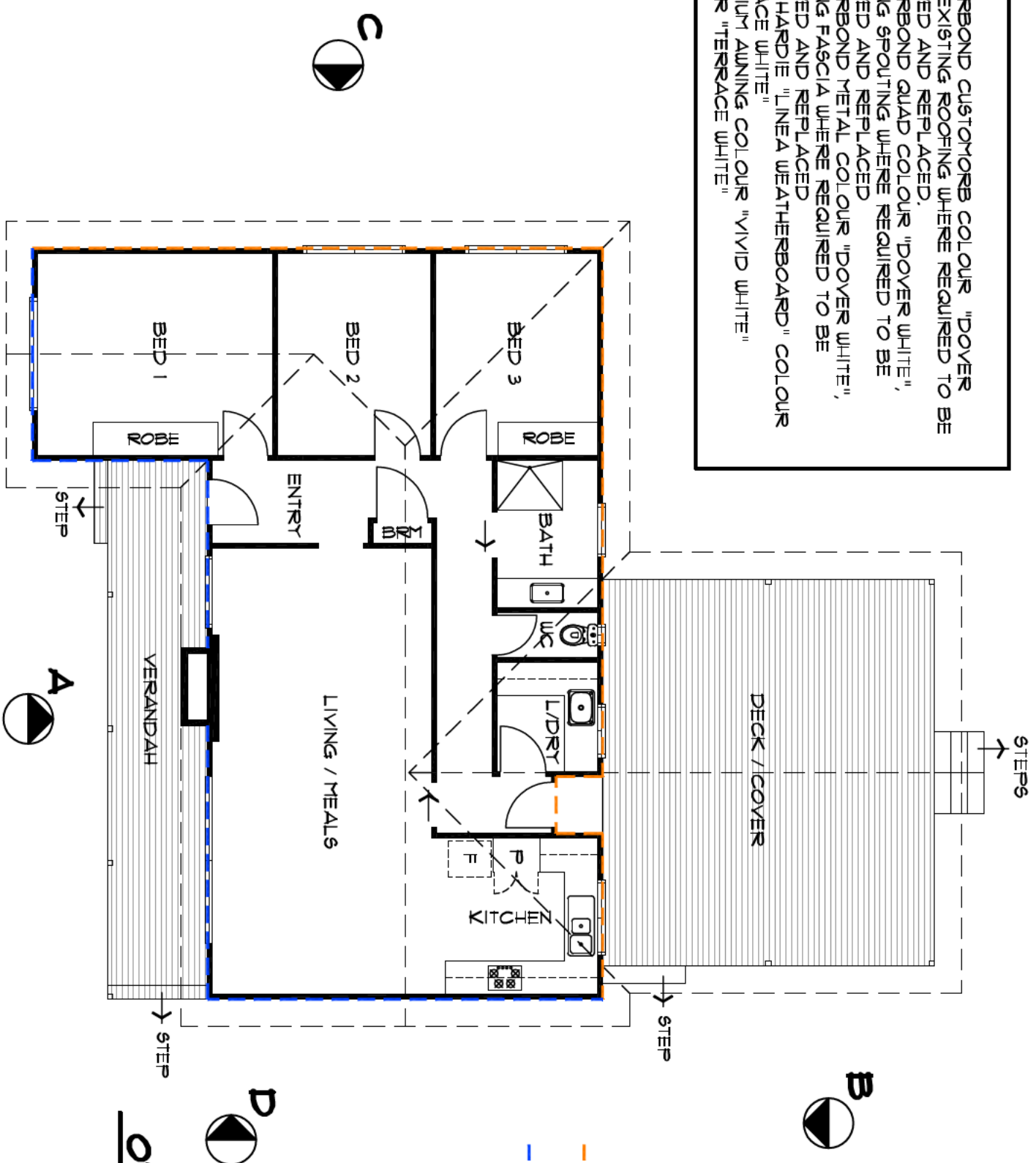


Sheet 3 OF 10 Scale 1 : 100 (A3)

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COLOUR THEME :	
ROOFING	- COLOURBOND CUSTOMORB COLOUR "DOVER WHITE, EXISTING ROOFING WHERE REQUIRED TO BE REMOVED AND REPLACED.
SPOUTING	- COLOURBOND QUAD COLOUR "DOVER WHITE", EXISTING SPOUTING WHERE REQUIRED TO BE REMOVED AND REPLACED
FASCIA	- COLOURBOND METAL COLOUR "DOVER WHITE", EXISTING FASCIA WHERE REQUIRED TO BE REMOVED AND REPLACED
EXTERNAL CLADDING	- JAMES HARDIE "LINEA WEATHERBOARD" COLOUR "TERRACE WHITE"
WINDOWS	- ALUMINIUM AWNING COLOUR "VIVID WHITE"
EXTERNAL TIMBER WORK	- COLOUR "TERRACE WHITE"



- - - EXISTING COLOURBOND CUSTOMORB CLADDING TO REMAIN
- - - EXISTING PINE WEATHERBOARDS TO BE REMOVED, NEW JAMES HARDIE "LINEA WEATHERBOARDS" INSTALLED

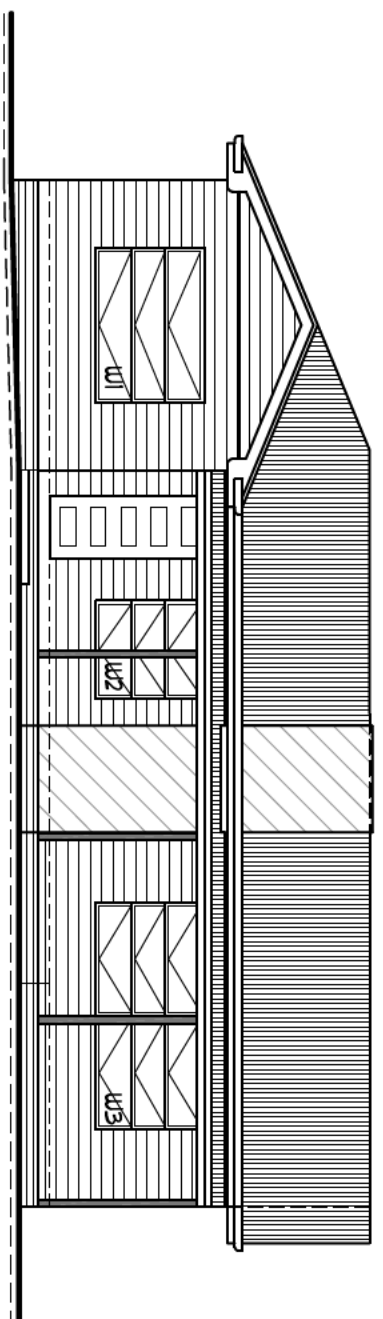
OVERALL FLOOR PLAN

1 : 100

A5 3959-2018 BAL "LOU"

BUILDING AREAS :	
EXISTING LIVING	- 102.98m ² (1107 sq)
PROPOSED EXTENSION	- 52.6m ² (565sq)
TOTAL LIVING	- 108.24m ² (1163sq)
PROPOSED VERANDAH	- 17.53m ² (188 sq)
PROPOSED OUTDOOR	- 42.00m ² (452sq)
TOTAL UNDER ROOF	- 167.77m ² (1803sq)

STREET ELEVATION



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"WEIR RESIDENCE"
PROPOSED EXTENSION & OUTDOOR AREA TO EXISTING RESIDENCE FOR :
E WEIR, 10 DUNDAS ROAD
MARYBOROUGH, VIC, 3465

OVERALL FLOOR PLAN

Designed C STEEL AUGUST 2024
Checked C STEEL Date 8 AUGUST 2024



WINDOW SCHEDULE (BAL "LOW")			
WINDOW NO	LOCATION	WINDOW SIZE (d x w)	WINDOW TYPE
W1	BED 1	1440 x 2050	ALUMINIUM AWNING WINDOW - SINGLE GLAZED
W2	LIVING / MEALS	1440 x 1300	ALUMINIUM AWNING WINDOW - SINGLE GLAZED
W3	LIVING / MEALS	1440 x 3010	ALUMINIUM AWNING WINDOW - SINGLE GLAZED
		QTY	TIMBER LINTEL SIZE
		1	
		1	
		1	

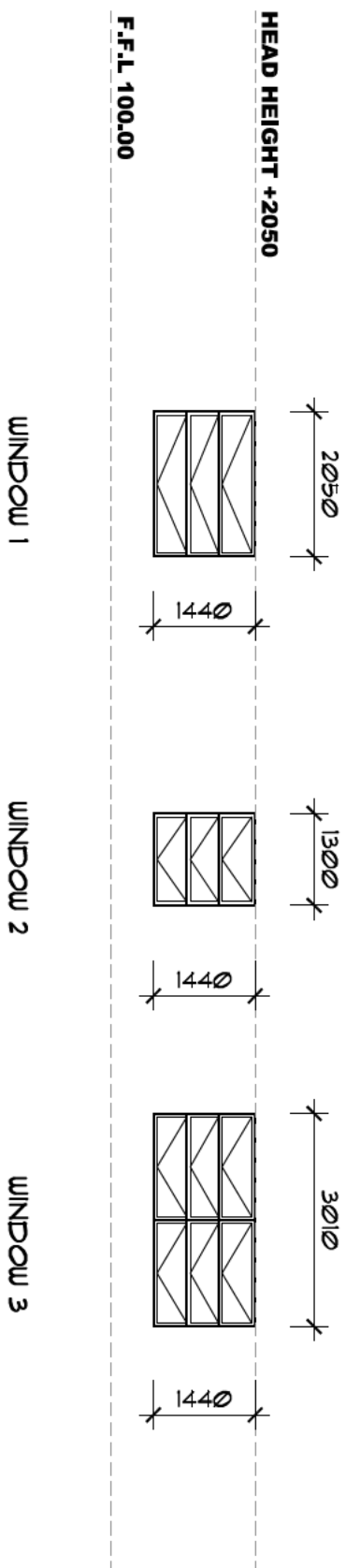
ALL ALUMINIUM WINDOWS AND DOOR FRAMES TO BE ALUMINIUM IMPROVED.
ALL OPENABLE PORTIONS OF WINDOWS TO BE PROVIDED WITH SCREENS. ALL SCREENS TO BE MAXIMUM APERTURE OF 2mm, MADE FROM CORROSION RESISTANT STEEL BRONZE OR ALUMINIUM



SD - DENOTES SMOKE DETECTORS, MUST COMPLY WITH AS 3786 AND BE CONNECTED TO MAINS POWER, WHERE THERE IS MORE THAN 1 ALARM, SMOKE DETECTORS TO BE INTERCONNECTED, PROVIDE BATTERY BACKUP
REFER NCC 2022 - 9.5

ALL WINDOW FRAMES AND GLAZING TO COMPLY WITH BAL "LOW" (AS 3959)

GLAZING NOTES :
GLAZING, INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS TO COMPLY WITH THE NCC VOLUME 2 SECTION 3.6 FOR CLASS 1 AND 10 BUILDINGS WITH A DESIGN WIND SPEED OF NOT LESS THAN N3.



ROOFING / SARKING DETAILS

- ALL ROOFING TO BE COLOURBOND CUSTOMORB (NO COMBUSTIBLE)
- ROOF SARKING TO BE LOCATED UNDER THE ROOFING BATTENS, ALL GAPS AND CRACKS TO COMPLY WITH AS 3959
- **ALTERNATE ROOF SARKING DETAILS**

ROOF SARKING MAY BE PLACED OVER THE ROOFING BATTENS WHEN USING 300mm WIDE FOIL BACKED INSULATION TO ALL GUTTER LINES, INCLUDING RIDGE, VALLEYS ETC TO PREVENT GAPS GREATER THAN 3mm

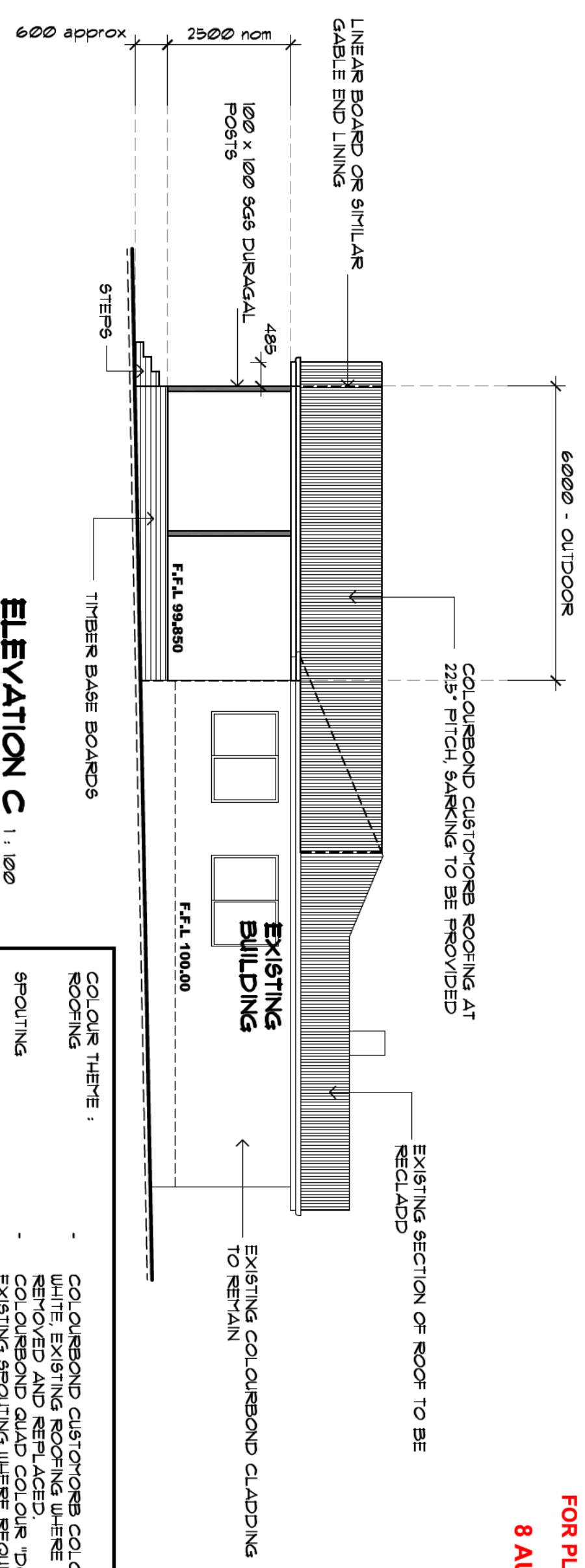
"WEIR RESIDENCE"
PROPOSED EXTENSION & OUTDOOR AREA TO EXISTING RESIDENCE FOR :
E WEIR, 10 DUNDAS ROAD
MARYBOROUGH, VIC, 3465

WINDOW DETAILS

Designed C STEEL AUGUST 2024
Checked C STEEL Date 8 AUGUST 2024

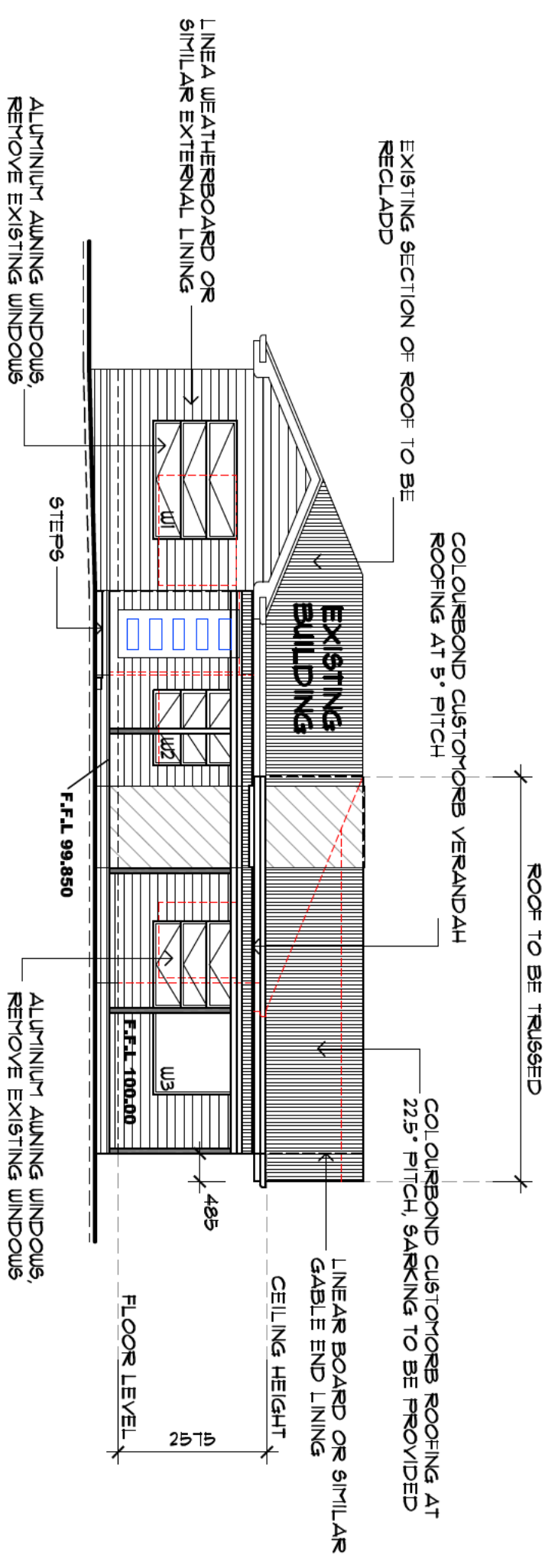
building design
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Building Practitioner
DP - AD 2555



ELEVATION C 1 : 100

COLOUR THEME :	- COLOURBOND CUSTOMORB COLOUR "DOVER WHITE, EXISTING ROOFING WHERE REQUIRED TO BE REMOVED AND REPLACED.
SPOUTING	- COLOURBOND GUD COLOUR "DOVER WHITE", EXISTING SPOUTING WHERE REQUIRED TO BE REMOVED AND REPLACED
FASCIA	- COLOURBOND METAL COLOUR "DOVER WHITE", EXISTING FASCIA WHERE REQUIRED TO BE REMOVED AND REPLACED
EXTERNAL CLADDING	- JAMES HARDIE "LINEA WEATHERBOARD" COLOUR "TERRACE WHITE"
WINDOWS	- ALUMINIUM AWNING COLOUR "VIVID WHITE"
EXTERNAL TIMBER WORK	- COLOUR "TERRACE WHITE"



ELEVATION A 1 : 100



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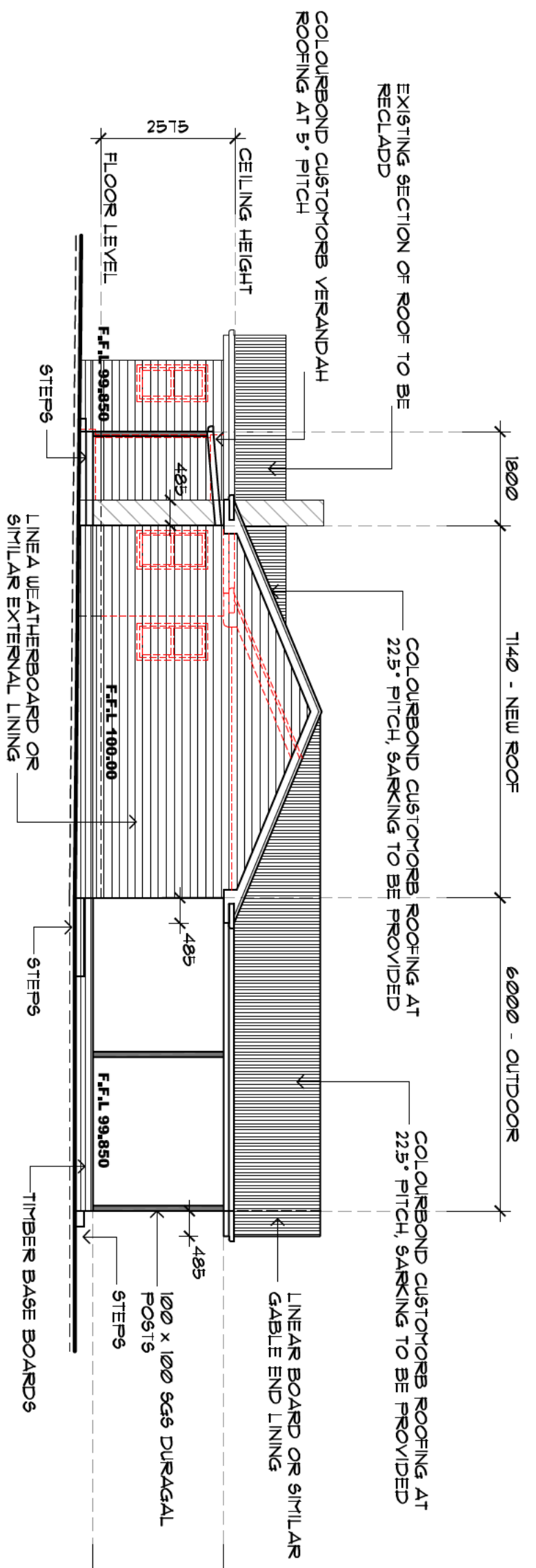
"WEIR RESIDENCE"
 PROPOSED EXTENSION & OUTDOOR
 AREA TO EXISTING RESIDENCE FOR :
 E WEIR, 10 DUNDAS ROAD
 MARYBOROUGH, VIC, 3465

ELEVATIONS A & C

Designed	C STEEL	AUGUST 2024
Checked	C STEEL	Date 8 AUGUST 2024

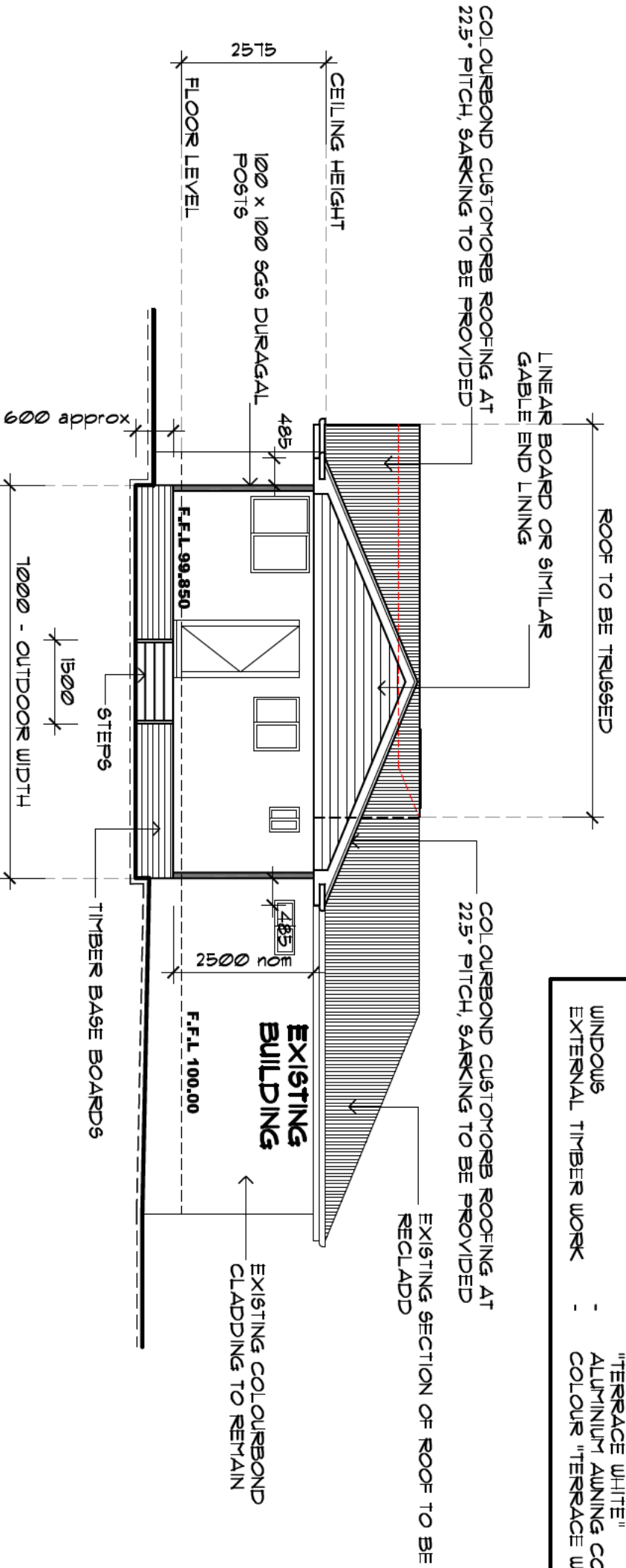


DP - AD 2555



ELEVATION D 1 : 100

COLOUR THEME :	
COLOURBOND CUSTOMORB ROOFING	COLOURBOND CUSTOMORB COLOUR "DOVER WHITE", EXISTING ROOFING WHERE REQUIRED TO BE REMOVED AND REPLACED.
SPOUTING	COLOURBOND QUAD COLOUR "DOVER WHITE", EXISTING SPOUTING WHERE REQUIRED TO BE REMOVED AND REPLACED
FASCIA	COLOURBOND METAL COLOUR "DOVER WHITE", EXISTING FASCIA WHERE REQUIRED TO BE REMOVED AND REPLACED
EXTERNAL CLADDING	EXISTING FASCIA WHERE REQUIRED TO BE REMOVED AND REPLACED
WINDOWS	JAMES HARDIE "LINEA WEATHERBOARD" COLOUR "TERRACE WHITE"
EXTERNAL TIMBER WORK	ALUMINIUM AWNING COLOUR "VIVID WHITE" COLOUR "TERRACE WHITE"



ELEVATION B 1 : 100

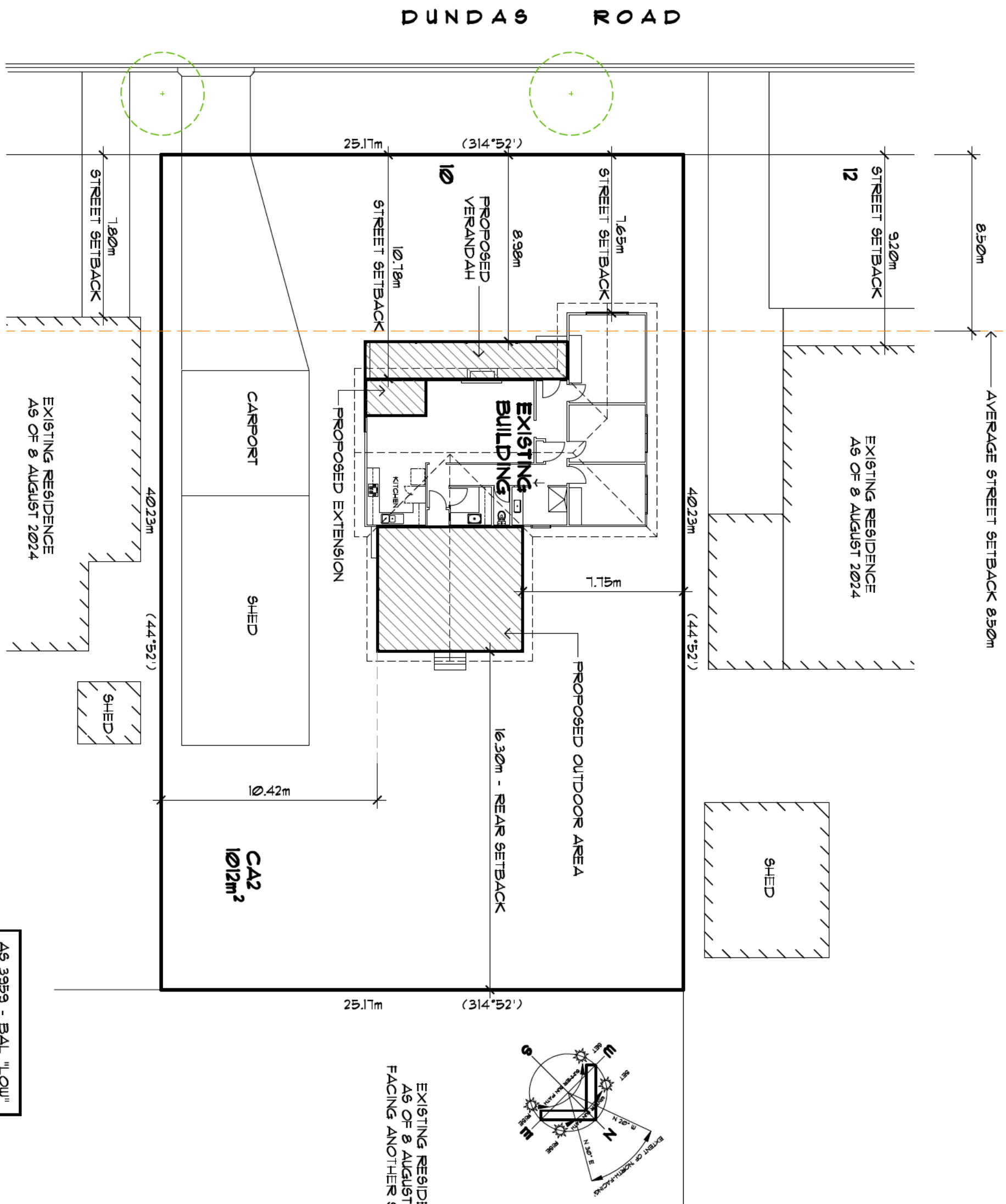
"WEIR RESIDENCE"
 PROPOSED EXTENSION & OUTDOOR AREA TO EXISTING RESIDENCE FOR:
 E WEIR, 10 DUNDAS ROAD
 MARYBOROUGH, VIC, 3465

ELEVATIONS B & D

Designed C STEEL AUGUST 2024
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STORM WATER NOTES:
 ALL STORMWATER TO BE 100mm DIA PVC AND DISCHARGE INTO EXISTING STORMWATER SYSTEM OR LEGAL POINT OF DISCHARGE AS DETERMINED BY CENTRAL GOLDFIELDS SHIRE COUNCIL

OVERALL SITE PLAN 1:200

A6 3959 - BAL "LOW"

TITLE DETAILS
 CA 2, TP 844119D
 PARISH OF MARYBOROUGH
 TOWNSHIP OF MARYBOROUGH
 VOL 8021, FOL 167



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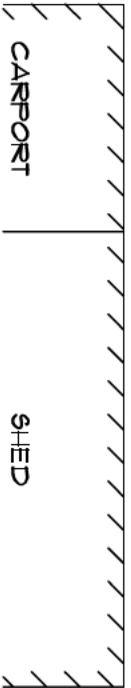
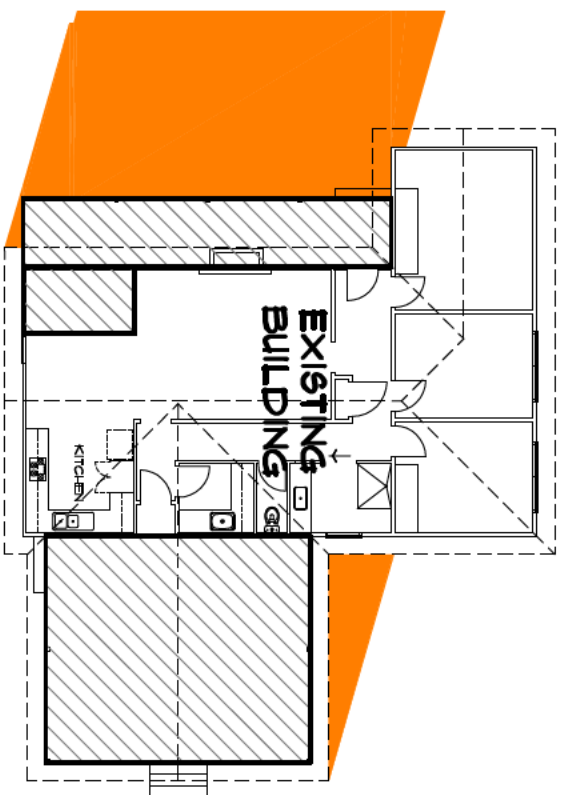
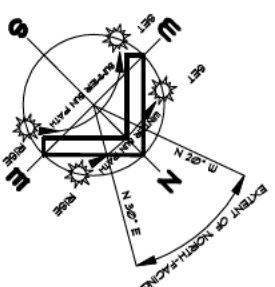
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 MARYBOROUGH, VIC, 3465

OVERALL SITE PLAN

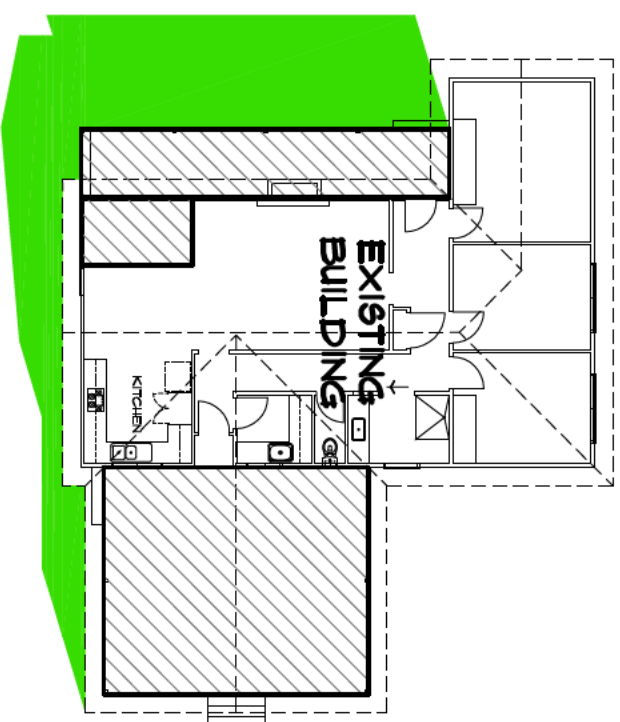
Designed C STEEL AUGUST 2024
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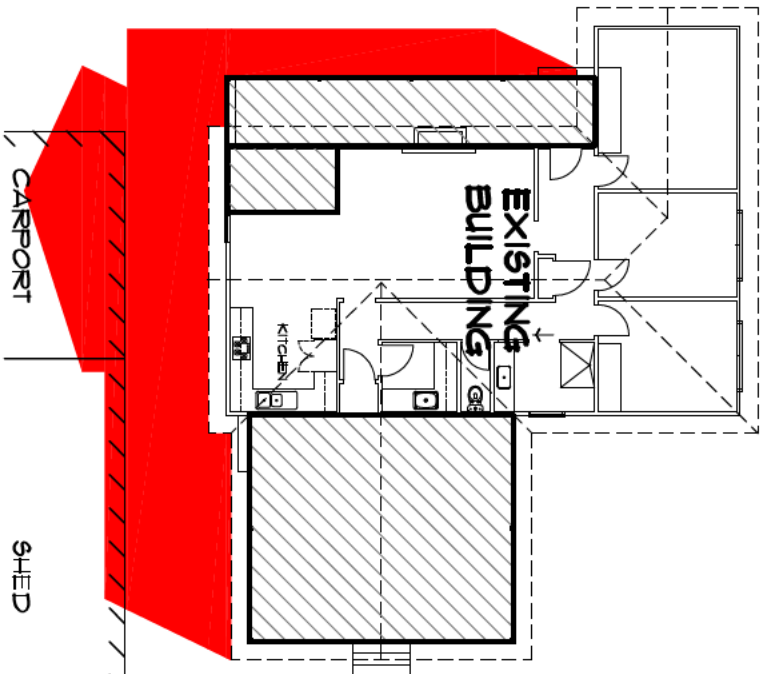
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9am SHADOW LINE



11am SHADOW LINE

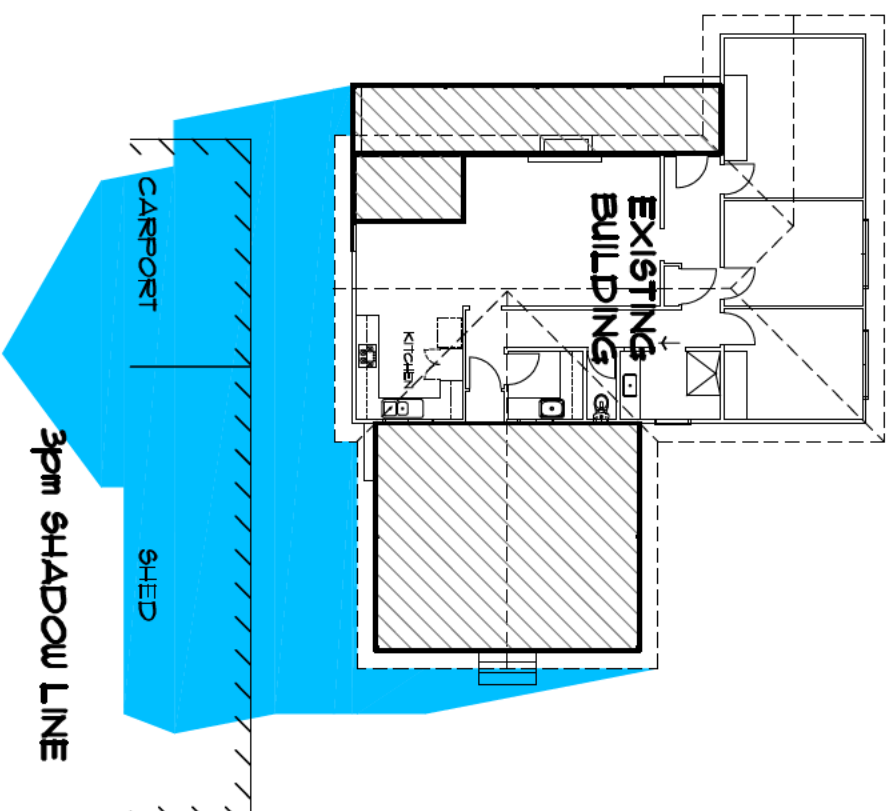


- 9am SHADOW LINE
- 11am SHADOW LINE
- 1pm SHADOW LINE
- 3pm SHADOW LINE

CARPORT

SHED

1pm SHADOW LINE



CARPORT

SHED

3pm SHADOW LINE



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SHADOW DETAILS

Designed C STEEL AUGUST 2024
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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 08027 FOLIO 167

Security no : 124117051406P
Produced 31/07/2024 08:14 AM

LAND DESCRIPTION

Crown Allotment 2 Section 66A Township of Maryborough Parish of Maryborough.
PARENT TITLE Volume 00704 Folio 643
Created by instrument 5557359R 06/05/1954

REGISTERED PROPRIETOR

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

[REDACTED] [REDACTED] [REDACTED] [REDACTED]

[REDACTED] [REDACTED]
[REDACTED]

[REDACTED]
under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP844119D FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 10 DUNDAS ROAD MARYBOROUGH VIC 3465

ADMINISTRATIVE NOTICES

NIL

[REDACTED] [REDACTED]
[REDACTED]

DOCUMENT END



Imaged Document Cover Sheet

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Document Type	Plan
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TITLE PLAN	EDITION 1	TP 844119D
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Location of Land

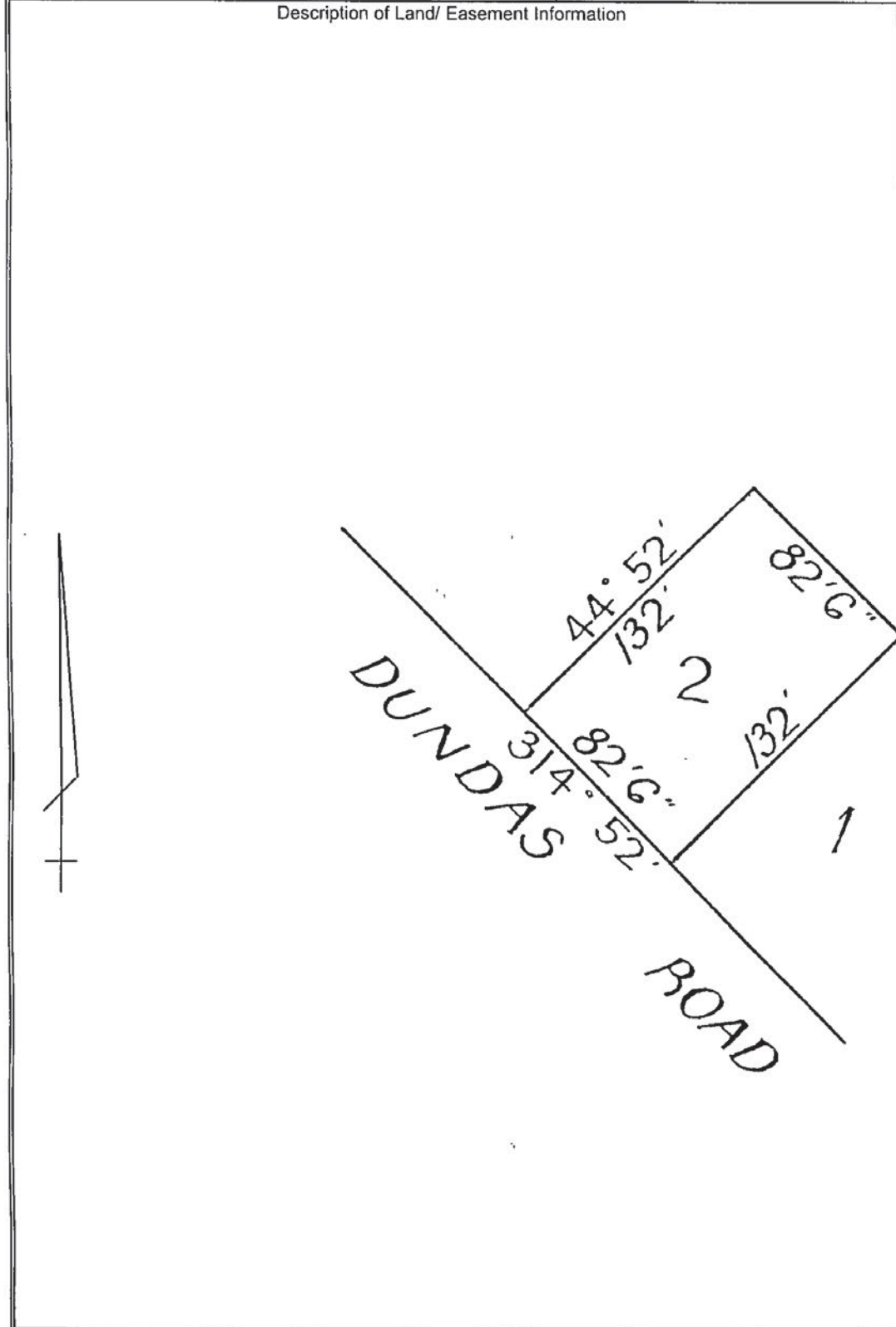
Parish : MARYBOROUGH
 Township : MARYBOROUGH
 Section : 66A
 Crown Allotment: 2
 Crown Portion: -

Base record : DCMB
 Last Plan Reference : -
 Derived From VOL. 8027 FOL. 167

Depth Limitation : NIL

Notations

ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN



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COMPILED: Date 2/12/05
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Assistant Registrar of Titles