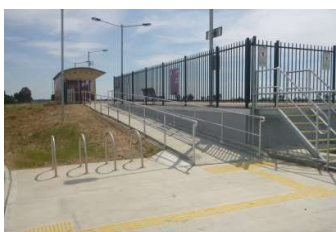




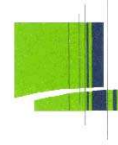
CENTRAL GOLDFIELDS SHIRE COUNCIL TALBOT URBAN DESIGN GUIDELINES REPORT – MARCH 2016



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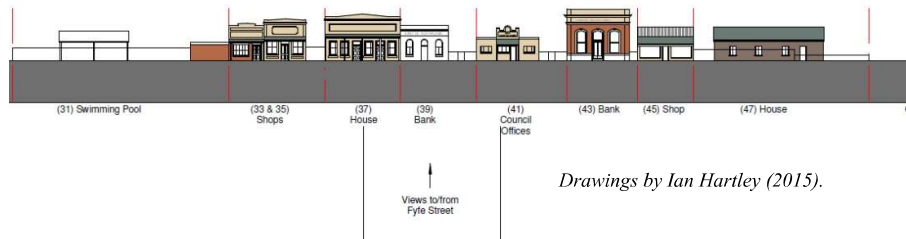
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Drawings by Ian Hartley (2015).

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1. EXECUTIVE SUMMARY

The aim of the Talbot Urban Design Guidelines is to set the principles and prescriptions in a concise format to ensure that new development within the township of Talbot protects and enhances the character of Talbot, in particular its core township heritage precinct. The existing character of the centre is the basis to guide future development. The guidelines establish the principles and planning provisions which, when followed, will maintain and reinforce the special qualities of the core township heritage precinct.

The Talbot Urban Design Guidelines are a long-term strategy building upon the Talbot Urban Design Framework of 2008. The guidelines are a practical resource that will assist Council, landowners and community groups to achieve significant improvements in both the physical presentation and function of the township. The guidelines are designed to serve as a primary reference guide for future capital works and private investment in Talbot.

The purpose of the guidelines is to give:

- Building owners, developers and their designers a set of design principles by which their proposals can complement, reinforce and enhance the character of the township;
- Council officers clear and justifiable standards against which they can assess the merits of a development proposal;
- The Talbot community an objective understanding of the character of the township against which they may assess the impact of future development.
- Council Officers a guide as to the appropriate use of materials to be used or future capital works and maintenance upgrades to public domain sites and facilities.

In developing this guideline document, consideration has been given to the township's character, strengths, weaknesses, issues and opportunities inherent in Talbot's environment as indicated through consultation with the local community and representatives from the Central Goldfields Shire Council. Talbot's township character was assessed by two methods and complemented by community input. Firstly, a desktop review of historical and other information assessed particularly the core township's historic context. Secondly, a visual survey by experienced observers assessed the attributes of built form, open space characteristics, vegetation, key sites and view cones throughout the township.

The Urban Design Vision for Talbot builds on the direction in Council's Corporate Policies and Municipal Strategic Statement (M.S.S.), ensuring that new development is sympathetic to the township's character. This is an important objective of the MSS and Central Goldfields Planning Scheme.

There are two active Community Groups in Talbot being: Talbot Today and Tomorrow (T.T.T.) and Talbot Action Incorporated (T.A.I.). In 2000 and 2001, Talbot Action Incorporated obtained significant funding to redevelop the Commercial Hotel to the Crescent Community Centre and London House with its adjacent cottage garden. These improvements at the same time stimulated further investment and physical improvement to most of the former retail and commercial properties within the core township area.

The community is keen to ensure that future growth is managed and sustainable, particularly infill development which should maintain and enhance the heritage and character of the built form. A key initiative for the growth, function and presentation of the township is the supply and installation of a

reticulated sewerage system. The Central Highlands Water Authority has a cyclical five year plan of implementation of reticulated sewerage systems to rural townships in Victoria.

Central Goldfields Shire Council has requested to have Talbot on the Central Highlands Water Authority's list for the installation of reticulated sewerage in the next cycle, which will be in 5-10 years time, i.e. 2020-2025. Under the EPA ruling and acts, Central Goldfields Shire Council is currently responsible for septic tanks; however the relatively flat terrain and heavy clay soils in Talbot are not suitable for septic tanks in terms of absorption and treatment of effluent. As a result, any new development in the township is limited and restricted. The situation is exacerbated by many small allotments stemming from the gold mining days. The small allotments are of inadequate size to cope with absorption of septic tank effluent.

The guidelines will:

- Provide the community with planning provisions and guidelines that are achievable and that build on the community's enthusiasm and skills. The physical improvements undertaken in the past fifteen years has resulted in a positive social and well-being dynamic experienced in the community.
- Establish guidelines that control infill development to manage and consolidate growth of the township.
- Maintain significant view corridors and visual permeability within the township.
- Improve the pedestrian / user and landscape amenity of Scandinavian Crescent and the immediate core township heritage precinct.
- Promote the heritage and history of Talbot and the immediate district.
- Promote and develop sustainable and innovative water saving and water management principles and techniques to treat stormwater, effluent and recycled water.
- Provide opportunity for further business development in the core heritage precinct of the township, particularly related to tourism and lifestyle choices.
- Improve the presentation of the three main township entrances from the Ballarat – Maryborough Road.

2. INTRODUCTION

Talbot is a rural township which has a rural gold mining past. As Talbot is only 14 kilometres from Maryborough, Talbot offers a lifestyle choice in terms of access to land, housing, a primary school and recreation activities supported by community facilities and services and provisions based in Maryborough. The recent upgrade of the Talbot Railway Station with potential for a more regular train service to Ballarat and thence to Melbourne, realises the potential for commuting between Melbourne and Talbot in approximately 2 hours.

The overall township has a dispersed settlement pattern. There are many vacant allotments within the residential area and due to this there is a high degree of visual permeability. It is considered that once reticulated sewerage is installed in Talbot (possibly 5 - 10 years away) the town will become a desirable place to locate and live. The historic character of the core township area is accentuated by the curvilinear setting of Scandinavian Crescent, where the combination of civic buildings and former shops of the 1880 period still remain and are presented to the streetscape in an impressive arc with high visual quality.

While the township is dispersed, the core township historic precinct is compact and comprises the historic buildings on Scandinavian Crescent, Camp Street and the intersection of Ballarat Street and Ballarat Street North.

Scandinavian Crescent owes its name to a group of Norwegian and Swedish miners who dug an exploratory shaft near Ballarat Road and Crespigny Street in 1859 and discovered gold trapped against an impenetrable basalt rock base. They followed the reef or lead and it became known as the Scandinavian Lead. The lead was so extensive it was an open cut mine of 45 metres width, 15 metres deep and 650 metres long.

By the mid 1860s the population of Talbot dwindled from 15,000 to 3,000. As the miners left a number of industries commenced such as a candle factory, flour mill, a picture theatre and gas works. Cohn Brothers soft drink factory – later relocated to Bendigo was founded in Talbot in 1861.

The curvilinear layout of Scandinavian Crescent strategically presents the former civic buildings on the western side very well and establishes a far stronger visual and physical connection for the observer than would be otherwise on a straight road. The row of civic buildings now occupied as either residences or businesses are noted as one of the most significant intact row of public buildings in Victoria.

Opposite the row of former civic buildings, London House and the former Commercial Hotel now the Crescent Community Centre, provide a distinctive and memorable experience for the visitor.

The presence of significant buildings on corner sites and termination vistas further reinforces the significance of Talbot's gold mining past. These vistas and sites are really important in the visual cues in contributing to the legibility and character, particularly within the core township precinct. These are:

- ANA Hall and the former Town Hall linked with Chesterfield House (Bull and Mouth Hotel) on Ballarat Street North.
- The former Big Fig Café building and juxtaposition of the Post Office, Sub Treasury and Court House on Camp Street.
- Slightly Bent Books Shop on the corner of Camp Street and Scandinavian Crescent.
- The general store on the corner of Ballarat Street and Scandinavian Crescent.
- The Talbot Primary School at the north termination of Scandinavian Crescent.

- St Michael's Anglican Church sitting high and proud on a knoll with a large Oak tree nearby. The associated open space to the south and link to the War Memorial is significant.

There are several key historic buildings and sites that are described on a series of well-presented interpretive signs.

The township is located on a slight knoll or rise above the Ballarat - Maryborough Road which effectively bypasses the main township area and separates both Back Creek and the sports facilities from the main township area. Due to the gentle slope from Scandinavian Crescent toward the Ballarat - Maryborough Road in a westerly direction, much of the south western portion of the township is on view for northbound motorists on the Ballarat - Maryborough Road.

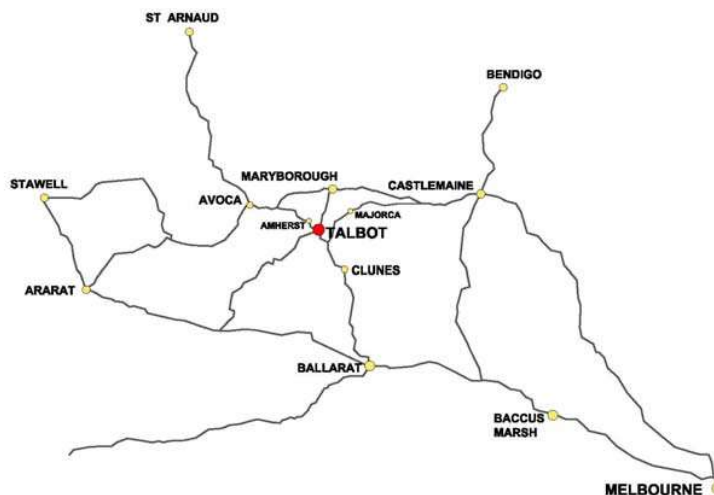
There is a cultural and social diversity within the township. This is represented by a diverse blend of hardworking and enthusiastic residents who are prepared to put personal effort back into their community. This contributes to the high level of community spirit and morale which has led to the township's rejuvenation over the past two decades.

The convenience to Maryborough's services makes living in Talbot a lifestyle choice for people to locate to a semi-rural setting, with access to facilities and services both in the township and more particularly in Maryborough. Talbot has become a popular township as the regional centre of Maryborough is only 14 kilometres north of Talbot. Maryborough with a population of approximately 7,500, offers community facilities and services such as health care, childcare and Centrelink etc, which a township the size of Talbot cannot offer.

A key land use and planning issue for the township is the significant number of allotments from 19th Century subdivisions that are too small to accommodate today's lifestyle expectations and the limited absorption capability of septic tank systems on small sized allotments with heavy and wet soils. Consolidation of small allotments to larger allotments would assist in addressing these issues, while provision of reticulated sewerage would greatly assist development on smaller allotments.

Since the late 1990s the township has developed a successful group of small and innovative businesses. A tourist focus developed, which includes the Sunday market attracting approximately 3,000 people every third Sunday of the month. London House, the Crescent Community Centre, sports facilities and a range of accommodation choices, the installation of an ATM, various specialist tourist and community based businesses and the major railway connection between Ballarat and Maryborough, have all contributed to the rejuvenation of Talbot. If (or when) Talbot receives reticulated sewerage system in the next 5 to 10 years, the township is likely to see significant development pressures, hence the need to establish the Urban Design Guidelines.

2.1. STUDY AREA



Talbot is located on relatively flat terrain, surrounded by farmland and sections of Yellow Gum and Yellow Box forest. The township is located midway between Clunes and Maryborough. Talbot's settlement and layout pattern of the core precinct is a direct result of goldmining operation following the deep lead gold bearing rock along what is now Scandinavian Crescent.

2.2. PROJECT OBJECTIVES

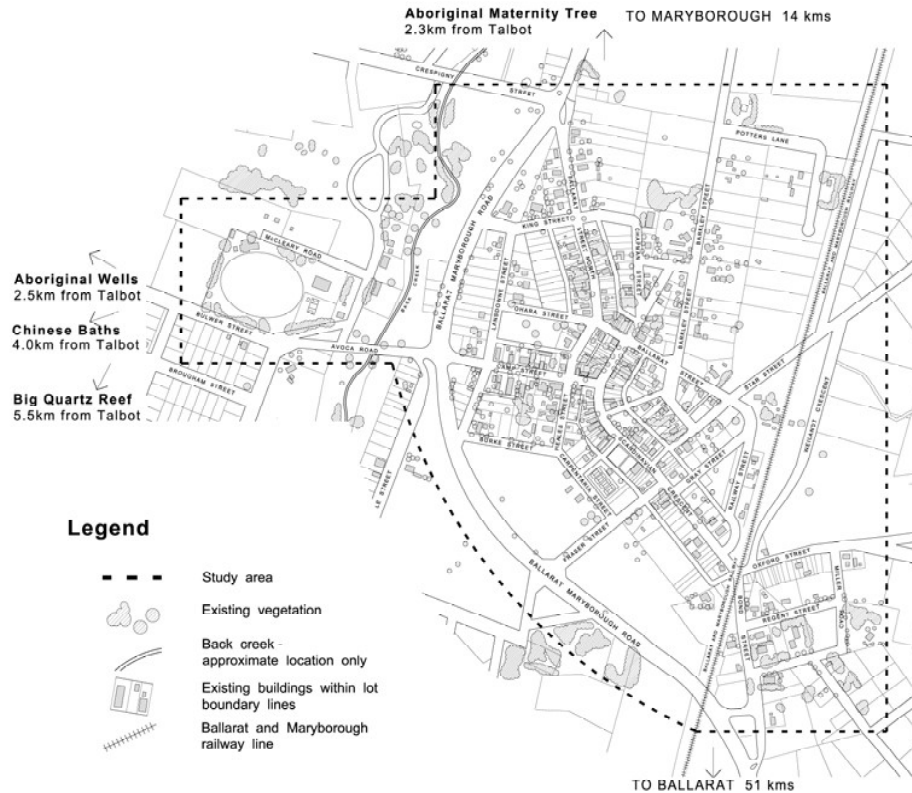


Figure 1: Study Area Plan.

Central Goldfields Shire Council's brief for the preparation of the Talbot Urban Design Guidelines outlined that the document will provide planning provisions and guidelines to direct the future development of the township that will compliment the rich built heritage fabric, retain vistas to key sites and be economically sustainable.

The key objectives are:

- Respect the existing character of the significant gold mining town.
- Encourage contemporary use of built form and materials in new development.
- Retain the existing streetscape and historic layout of Talbot, and guide the layout of future development.
- Retain the existing visual permeability to key sites.
- To provide more detailed planning guidelines and provisions for key sites, in particular the core town centre/ heritage precinct.
- Review of the existing Talbot Structure Plan and recommend any changes.
- To provide documentation to assist Central Goldfields Shire Council in amending the Planning Scheme.

2.3. STUDY TEAM AND STEERING COMMITTEE

In January 2008, Central Goldfields Shire Council appointed the firm of Michael Smith and Associates Landscape Architecture and Urban Design, in conjunction with specialist sub-consultants, to undertake the Talbot Urban Design Framework. In May 2015, Council then appointed Michael Smith and Associates and a specialist subconsultant team to prepare the Talbot Urban Design Guidelines.

- **Michael Smith and Associates Landscape Architecture & Urban Design**

Michael Smith – Landscape Architect and Urban Designer, is the Study Team Manager. He oversaw the project delivery and attended all meetings with the Council Officers. He visited key sites and undertook the visual and character analysis of the entire township and preparation of the report and plans.

Castiel Shepp – Landscape Architect and Urban Designer, met with Council Officers, visited key sites and undertook the visual and character analysis of the township, prepared parts of the study report and compiled a number of plans.

Chris Greber – Landscape Architect assisted in the preparation of plans and the report.

- **Peter Tesdorpf and Associates – Planning and Regional Development**

Peter Tesdorpf – Peter visited Talbot to undertake analysis of the township. He met with Council Officers and a community representative. He reviewed Council's corporate policies and Council's Planning Scheme to formulate strategies regarding planning and land use.

- **Ian Hartley - Architect**

Ian Hartley – Ian visited Talbot to undertake the township analysis and met with Council Officers and a community representative. He prepared sketches and commentary to direct future built form.

- **Paoli Smith Pty Ltd – Graphic Design and Publication**

Matthew Smith – Matthew visited Talbot to undertake the township analysis and met with Council Officers and a community representative. He provided photographs and compiled the final documentation.

Council's Project Team

Central Goldfields Shire Council established a Project Team to guide the preparation of the Urban Design Guidelines.

Miriam Smith – Central Goldfields Shire Council	Manager, Planning
David Sutcliffe – Central Goldfields Shire Council	General Manager, Technical Services
Leigh Hendrickson – Central Goldfields Shire Council	Design Co-ordinator
Wallie Cron – Central Goldfields Shire Council	Planning Officer

3. TOWNSHIP CHARACTER

There is a significant amount of open blocks (vacant) of land in Talbot within the town centre. While much of the township lies outside of the control of individual property owners, they have a responsibility to ensure that development does not compromise the general landscape attributes of the township and the core township heritage precinct. This extends to design decisions regarding such elements as site coverage, building height, scale, massing and building materials. The open spaces and laneways are significant components which contribute to the township's character, amenity, and quality of life for residents.

Wide front and side setbacks including vacant allotments add to the sense that the core township centre is very close to the countryside and that the countryside permeates into the township. With a few exceptions, buildings do not encroach upon one another and the many gaps provide glimpses of key buildings and distant trees within the surrounding landscape beyond the immediate township boundaries. The significant number of wide gravel surfaced laneways contribute to the sense of spaciousness and a couple of laneways provide direct corridor-like sight lines to key buildings and sites within the core township historic precinct. The laneways with a combination of diverse fence types, varied setbacks, overhanging trees, gravel surfaces further add to the informality and landscape character of the core township historic precinct.

Street tree planting throughout the township centre is a mix of established specimens such as Prunus and new groups of street tree planting of Acer platinoides "Crimson King". There is a lack of adherence to a street tree palette within the older specimens; however, some of the new street trees do bring some cohesion to streets in which they are planted.



"Snapshot of Talbot"



The success of London House as a hub to the township is testament to the successful transformation of Talbot; The transformation came through initiatives from the Central Goldfields Shire Council and the local community. Engendering business opportunities and new life to 19th Century buildings is critical in the presentation of historic built form and function of the township. London House with its community garden is the hub with several businesses conducted from the property.

The town markets itself for its boutique businesses, its Sunday market and the food and wine of the district. There is an impressive community garden to the north edge of London House.



Talbot conducts a farmers market every third Sunday of the month. Over 2,000 people attend each month. This initiative started about ten years ago and provides economic stimulus and alerts the broader regional community to the services and activities Talbot has to offer.



The redevelopment of the railway station and at present, a limited daily train service, linking Maryborough and Ballarat assists locals in accessing regional centres.



Edges and corners are important Urban Design triggers. In contrast to the dispersed vistas and openness of view corridors across corners and vacant allotments, there are quite contained and defined vistas to the buildings on Scandinavian Crescent and those on Camp Street. For example, Chesterfield House, ANA Hall and the former Town Hall combine at the intersection of Ballarat and Heales Streets to create a point of orientation and memory.



Another example of a significant corner and edge is the Post Office, Courthouse and Library on the corner of Heales and Camp Streets. The curvilinear alignment of Scandinavian Crescent with its unfolding view in either direction creates far greater visual exposure to the ten buildings on the west side opposite London House than would otherwise occur on a straight road alignment. The curvilinear alignment of Scandinavian Crescent stems from the mine shafts in the core area, dictating where the horse and drays routes lead.



Streetscape elements such as bluestone pitchers, brickwork, signage, vegetation, lighting, furniture, timber picket fences and woven wire fences are important to consider in the preparation of guidelines that are specific to the township.



Within the township zone there are a significant number of vacant sites allowing permeable view corridors across corners, along laneways and along streets. Laneways are a feature of Talbot's core township historic precinct. Their presentation and permeability is important as a network of laneways have the potential to enhance the character and amenity of the township. Laneways and recesses to buildings provide vistas to points of orientation and reference as well as provide much needed access and connectivity.



The township is gently undulating with a general fall to Back Creek to the west. The gentle undulations within the township provide subtle cues to the visual permeability to create interest and vistas.



Talbot is bypassed with the Ballart-Maryborough Road connecting Clunes and Maryborough running to the immediate west of the core area of the township.



The township has a quite dispersed layout. There are many instances of open vistas and visual permeability within the broader township area, abutting the Ballart-Maryborough, the recreation reserve and gateway entrances at Bond Street and Ballarat North Streets.



The visual permeability of the township leaves it sensitive to any poor quality development. Unsympathetic development, particularly on corner and vacant sites and along laneways needs to be controlled. Corner sites and legible edges are important as they become anchor blocks and reinforce land use to strengthen the legibility and presentation of a precinct. Chesterfield House, ANA Hall, and the Post Office are all good examples of strong edges and corners.

COMMUNITY AND CIVIC FACILITIES

- A Town Hall 1865
- B A.N.A. Hall
- C Post Office 1860, Sub - Treasury 1867 and Court House
- D General Store
- E CFA
- F Free Library (Former Court House 1861)
- G The Crescent Community Centre and Online Centre (Former Commercial Hotel 1861)
- H Talbot Museum (Former Primitive Methodist Church 1870)
- I Astronomical Observatory to the rear of the Former Court House 1866
- J St Michaels Church of England
- K Primary School (Former Prince Alfred State School 1875)
- L Back Creek Kindergarten
- M Senior Citizens Centre Inc.
- N RSL Sub-Branch Womens Auxiliary (Former Fire Brigade Engine House 1873)
- O Talbot Soldier's Memorial Park
- P Talbot Pioneer's Memorial Playground
- Q Public Swimming Pool
- R Bowling Club
- S Tennis Club
- T Recreation Reserve
- U P.J. Pryor Sports Stadium
- V Netball Court
- W Basketball Court

POINTS OF INTEREST AND KEY SITES

- 1 Court House Hotel / Motel 1867
- 2 Chesterfield House B&B (Former Bull and Mouth Hotel 1866)
- 3 Talbot Mews Saddler's Cottage
- 4 Quince's Farm Cafe (Former London House 1863)
- 5 Big Fig Cafe (Former Camp Hotel 1861)
- 6 The Crescent Community Centre with Fanny's Flat on Fyle Street, Timber Furniture and Flooring and the Art Gallery
- 7 Slightly Bent Books (Former Grocery Store)
- 8 Victorian Railway Station Museum 1874 and Nursery
- 9 Wesleyan Church 1862
- 10 Former Presbyterian Church 1864
- 11 Former Police Residence 1865, Lookup 1863 and Stables 1872
- 12 Former Talbot Leader
- 13 Former Burdess Residence 1869
- 14 Former Elder Residence 1861
- 15 Former Ramsay's Tin Smith and Iron Monger 1860
- 16 Former Flour Mill 1869
- 17 London Chartered Bank 1866
- 18 Shire of Talbot and Clunes
- 19 Bank of Australasia 1869
- 20 Characteristic 19th Century outbuilding constructed of local basalt



Legend

- Study area
- Existing vegetation
- Back creek - approximate location only
- Existing buildings within lot boundary lines
- Ballarat to Maryborough railway line
- Core township historic precinct
- Strong Viewcone to maintain
- Strong corridor view to maintain
- Good view to maintain

**KEY SITES AND VIEWS
TALBOT URBAN DESIGN GUIDELINES
CENTRAL GOLDFIELDS SHIRE COUNCIL**



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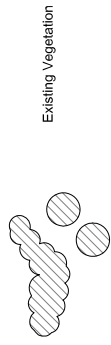


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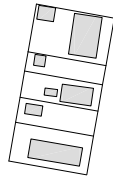
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In Association With:
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LEGEND



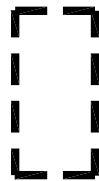
Existing Vegetation



Existing buildings within lot boundary lines



Ballarat to Maryborough Railway Line



Core township historic precinct



Strong viewcone to maintain

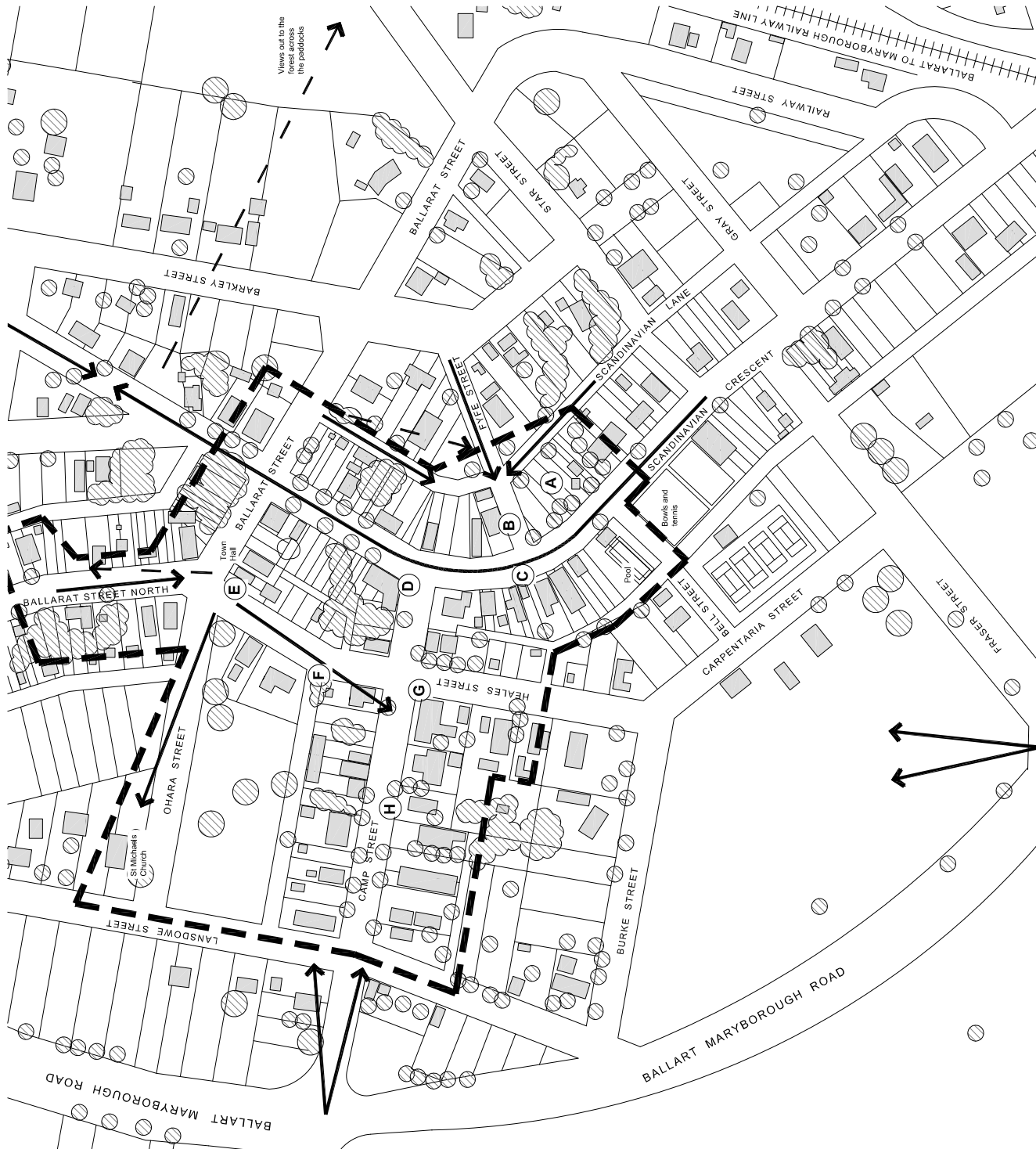


Strong corridor view to maintain



Good view to maintain

- A** Talbot Pioneer's Memorial Playground
- B** The Crescent Community Centre and Online Centre (Former Commercial Hotel)
- C** Former Civic buildings on Scandinavian Crescent
- D** Slightly Bent Books (Former Grocery Store)
- E** A.N.A. Hall
- F** Talbot Soldier's Memorial Park
- G** Post Office 1860, Sub - Treasury 1867 and Court House
- H** Civic Buildings on Camp Street



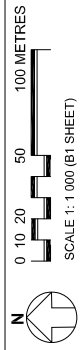
TALBOT CORE TOWNSHIP HISTORIC PRECINCT AND VIEWS

TALBOT URBAN DESIGN GUIDELINES
CENTRAL GOLDFIELDS SHIRE COUNCIL

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In consultation with:
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Paul Smith

3.1. PLANNING CONTEXT

The planning framework for Talbot is outlined in the Central Goldfields Planning Scheme. The township is affected by State and Local Planning Policy Frameworks in the scheme. The relevant aspects of the Local Planning Policy Framework are the Municipal Strategic Statement, particularly Clauses 21.13 (Enhancing Lifestyle Qualities of Townships), 21.10 (Heritage) and 21.11 (Tourism) as well as the Local Policies particularly Clause 22.01 (Urban Design).

Clause 21.13 contains a Structure Plan for Talbot. The Plan, illustrated on page 6 of the Municipal Strategic Statement (Figure 2), outlines a recommended township boundary, conservation precinct, Scandanavian Crescent Precinct, key town entrances and entry points, as well as recommended areas for serviced infill residential development, and rural living areas to the south of the township. One of the points under the section “Undertake Further Strategic Work” at the end of Clause 21.13 is to “undertake strategies for Carisbrook, Talbot...that address issues and opportunities relating to urban design, retailing and tourism”. The Urban Design Framework and these guidelines fulfill that requirement for Talbot.

Clause 22.01 (Urban Design) is the most relevant local policy in the Planning Scheme. The policy applies to the built form, landscape context and public spaces in all urban zones in the Shire including the Township Zone in Talbot. The policy provides objectives to retain and improve the urban design qualities of urban areas such as Talbot as well as township entrances. The policy outlines design and other planning matters to be encouraged and discouraged in uses and developments requiring a planning permit.

The zoning of Talbot Township and surrounding areas are illustrated on Figure 3. The Township Zone is the predominant zone in the core township area. The Rural Living Zone covers areas to the west and south of the Township Zone and the Ballarat-Maryborough Road, to the north-east of the Township Zone in specified areas east of Barkly Street and north of Potters Lane, and to the south-east of the Township Zone in specified areas east of Millers Road and south of the Talbot-Mt Greenoch Road.

Four overlays in the Planning Scheme affect Talbot Township and surrounding areas – a Heritage Overlay (HO), an Erosion Management Overlay (EMO), a Land Subject to Inundation Overlay (LSIO), and a Salinity Management Overlay (SMO). There is no Design and Development Overlay (DDO). The Heritage Overlay is the most relevant to this study. The requirements of this overlay apply to the following heritage places (and associated land) in Talbot, as specified in the schedule to the overlay - Talbot Area (HO208), former Talbot police residence and lock-up in Heales Street (HO125) and Aboriginal maternity tree in Pollock’s Road (HO148).

3.2. LANDSCAPE PRINCIPLES FOR THE TOWNSHIP CENTRE

The following general principles apply to the physical presentation of the township including the core township heritage precinct. Private development should reinforce these principles and minimise negative impacts.

- Maintain and enhance view-lines, both between and across buildings, laneways and streets and along Scandinavian Crescent particularly the important vistas.
- Encourage the planting of appropriate tree species – such as canopy trees with distinctive trunks – that don’t excessively block views across the township,
- Reinforce and enhance the heritage attributes of core township heritage precinct, for example by the installation of high quality heritage-themed street furniture, paving and pedestrian crossings,

- Improve the appearance of out-of-character buildings to complement the buildings that contribute to heritage character within the core township heritage precinct,
- Maintain the open frontage to the town playground and to public toilets and picnic facilities at Talbot Pioneers Memorial Playground on Scandinavian Crescent and to the Talbot Soldiers Memorial Park on the corner of Heales and O'Hara Streets, so they are visually prominent, particularly to meet the needs of visitors,
- Recognise the contribution the laneways to the rear of some properties play in contributing to the visual permeability and sense of spaciousness.
- Significant vistas within the defined core township historic precinct. These include: -



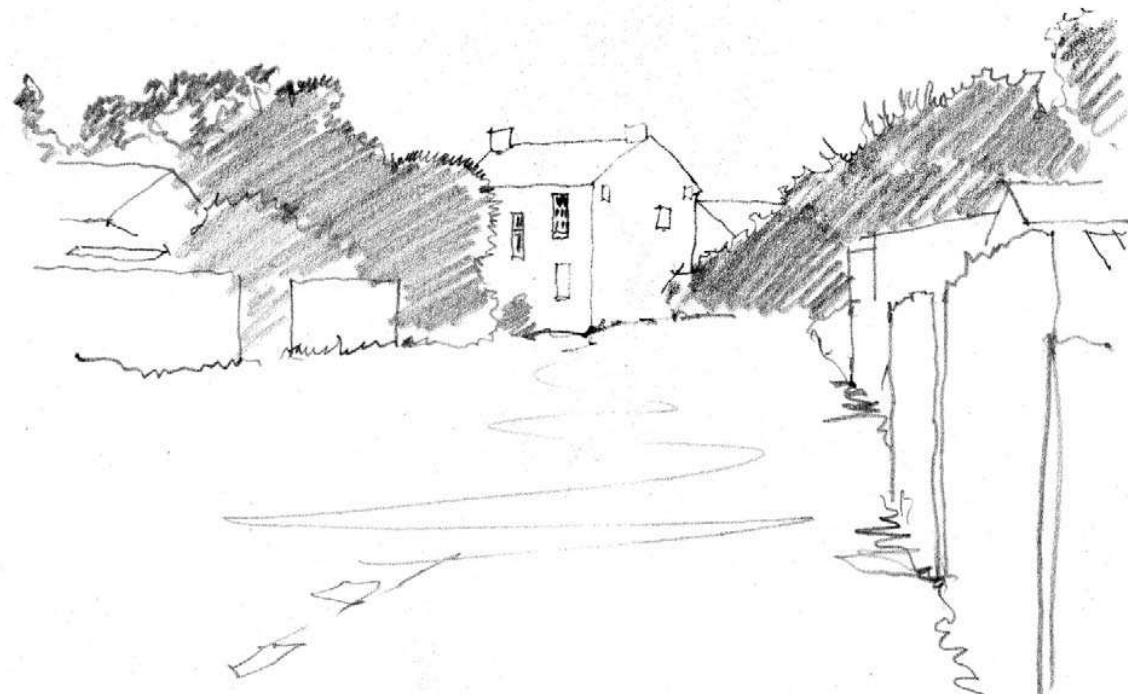
(a) The curve of Scandinavian Crescent



(b) ANA Hall and the former Town Hall on the corner of Ballarat and Heales Streets, with Chesterfield House immediately opposite and the Anglican Church in the distance



(c) The Court House and Post Office and forecourt on the corner of Camp and Heales Streets



(d) Scandinavian Lane



(e) Fyfe Street



(f) Open space across to St Michael's Church, corner Lansdowne and O'Hara Streets



(g) Lansdowne Street view across open space to Chesterfield House framed by trees



(h) Talbot Soldiers Memorial Park corner O'Hara and Heales Streets



(i) Ballarat Street North—two early Victorian buildings.

- Significant views outside of the defined core township precinct
 - (a) Entrance views on the Ballarat - Maryborough Road, particularly the southwest portion of the township from Camp Street to the railway line
 - (b) The primary school
 - (c) The former railway station building
 - (d) Several laneways.

3.3. GUIDELINE INSTRUCTIONS

Each guideline contains a set of 'principles' and 'performance criteria'. Developments will be assessed against the criteria, which are 'deemed to comply' with the design principles in each guideline. It may not be possible or desirable for any single project to meet all performance criteria; designers may propose alternative solutions which satisfy the principles. Excellent performance in one guideline may be an argument for concessions in another, so long as the overall contribution to enhance the township character is positive and realised. Where such a case is presented, the final assessment rests with the town planning authority. The Guidelines will be made available by the Shire for applicants making submissions for approval by Central Goldfields Shire Council. Applications will be assessed by Central Goldfields Shire Council Statuary Planning Staff. Enforcement will be undertaken by Council's Planning Enforcement Officer.

GUIDELINE CATEGORIES

Guideline

Principles:

Performance Criteria:

4. BUILT FORM

4.1. Development density

Principles:

- Within the core township heritage zone, development greater than 60% site coverage is discretionary and each application is considered by Council on its merits. Consolidate 'medium' density to the core township heritage precinct and low density to the outer township areas.
- The simple qualities and character of the township are largely due to the low density and single story residential layout.
- Maintain cohesion with surrounding built form character.
- Manage and articulate site coverage on large allotments to create the impression of a series of individual buildings addressing the street.
- Large scale developments should be broken up or articulated into more than one form to create landscaping opportunities, provide interesting spaces and setbacks both in elevation and plan, maintain view-lines and reduce visual bulk.
- Consolidation of smaller allotments into larger allotments to cope with septic tank absorption and maintain the sense of spaciousness throughout the township.

Performance Criteria:

- Maximum site coverage for a single storey development is 60% for properties outside of the core township heritage precinct and tree planting is encouraged in private open space.
- Site coverage to the core township heritage precinct is unspecified and discretionary providing the development application meets built form criteria with respect to simple articulation in plan and elevation, massing and height and the selection of appropriate materials and colours.

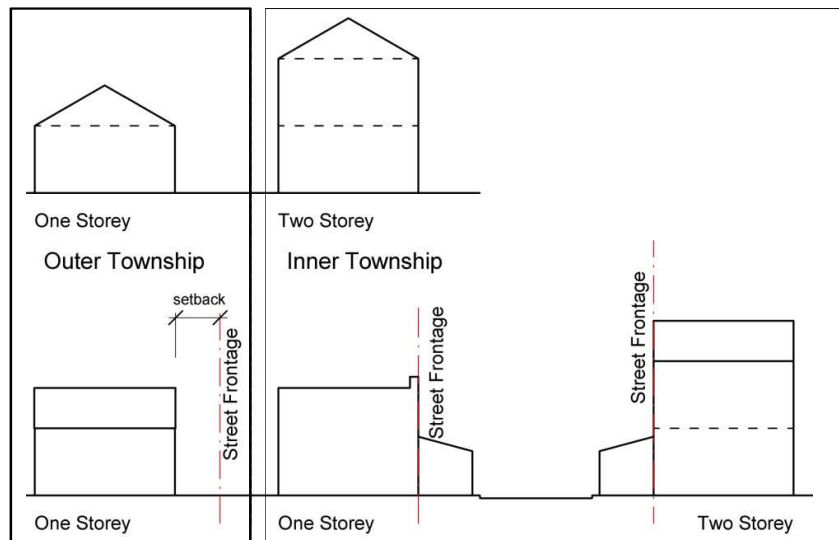
4.2. Height

Principles:

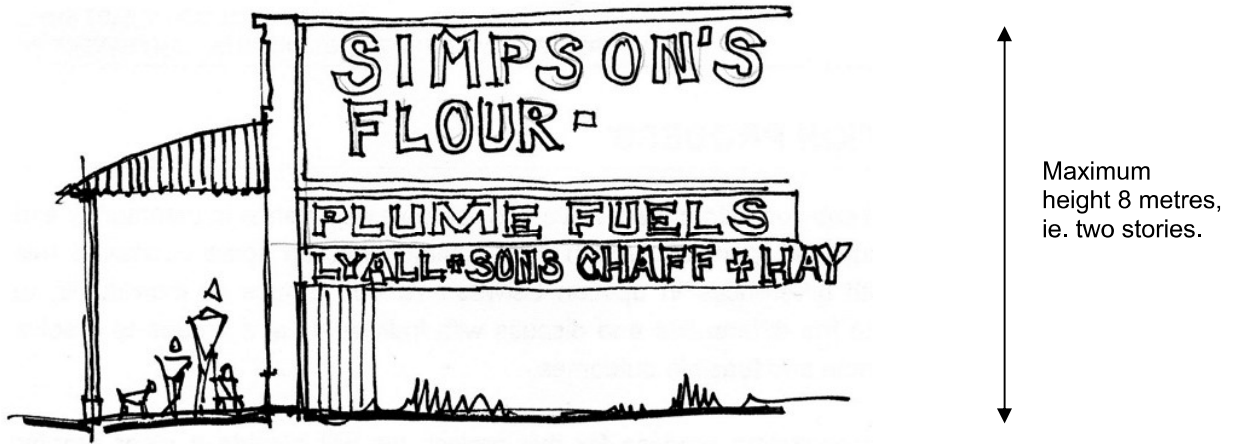
- Single storey development is the preferred model for properties outside of the core township heritage precinct.
- The exclusivity of single storey buildings within the outer township contributes to the simplicity and informality of the township character.
- Second and third storey development must incorporate roof forms, elevations and setbacks that minimise visual bulk and retain significant views, where applicable. The facades of upper levels, where permitted, must include windows and architectural detailing to minimise visual bulk and roof-forms in character with the guidelines.

Performance Criteria:

- Within the core township heritage precinct, second storey development may sit on the street frontage (title line).
- Within the outer township area, beyond the core township heritage precinct, the first and second storey of a development must be set back a minimum of 1.5 metres from the street frontage.



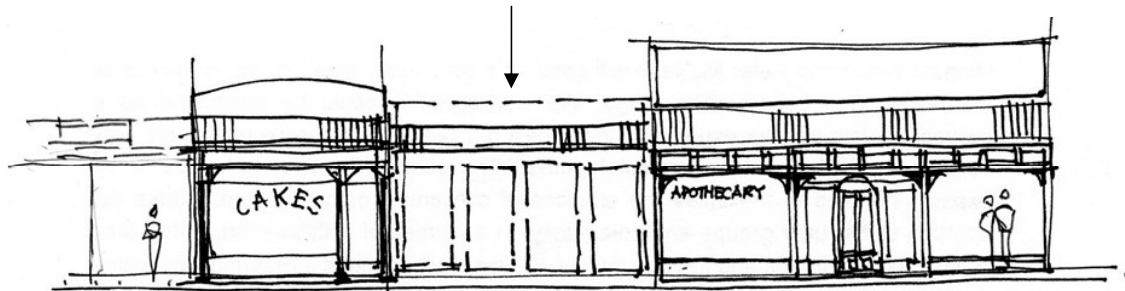
BUILT FORM: HEIGHT GUIDELINES



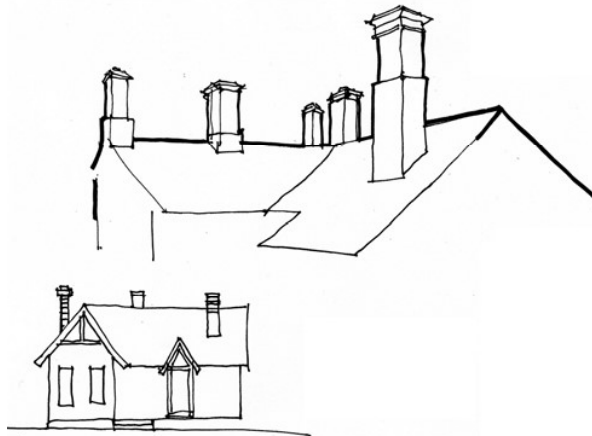
Old signage should be retained. New signs should work with the old signage respectfully.

- New signage for old buildings should be kept to a minimum in order to respect the heritage of the building and located within any existing signage parapet or similar.
- New signage for shopfronts within the core township heritage precinct should be appropriately designed and located on the building, so it does not detract from the heritage significance of the core township.

Perforated metal mural with separate verandah for shelter – Possibly a photo (historic) enlarged and converted to representative artwork e.g. perforated pressed metal.



An example of appropriate infill



The chimneys are a reminder of the affluence of the gold mining era. Retention and restoration is important.

4.3. Architectural detailing

Principles:

- Detailing and use of materials should be simple and restrained and of a 'heritage' aesthetic, particularly within the core township heritage precinct.
- The use of simple modern materials and finishes must not dominate the external appearance of a building, and are not to be used in the core township heritage precinct.
- Visual clutter of external appliances i.e. air conditioners, solar panels, should be minimised and controlled.
- Use of verandahs for shade control and weather protection is recommended. Gabled and hip roof construction is favoured in preference to front/ skillion type roofing.
- More elaborate details and materials are appropriate in certain situations to emphasise the status or function of a civic building, but are to be avoided for residential buildings.
- The use of planted 'green' walls and 'green' roofs is encouraged as a sustainable design element.

Performance Criteria:

- Conventional timber and brick / stonework construction methods.
- Detailing of post and beam to wide verandahs.
- Modern structural systems that are not obvious in appearance.

4.4. Materials and Colour

Principles:

- Building materials are an important expression of township character.
- Materials used on the principal buildings including residences and outbuildings, should be those commonly found in Australian regional gold rush towns, such as red brick, local metamorphic stone, timber, iron detailing and corrugated steel.
- Material used on outbuildings should be corrugated steel, or painted weatherboards.
- Within the core township heritage precinct, materials shall be within the range of existing building materials.
- Rendering of brick work or stone work is not encouraged, except within the core township heritage precinct and in a manner matching existing precedents.
- Colours of buildings must be subdued in accordance with the "earthy" tones of the gold rush era. Bluestone if used should be left unpainted and mortar joints neatly pointed or finished.
- Paint colours for weatherboard and window trims to be of the following sympathetic colour range.
- Approved Heritage colours are as follows:-
 - o Roofs *within* the core township heritage precinct
 - Zinalume (galvanised)
 - o Roofs *outside* the core township heritage precinct
 - Zinalume (galvanised)
 - Colorbond – Wallaby, Gully, Pale Eucalypt and Dune
 - o Wall (weatherboard) *within* the core township heritage precinct (existing heritage buildings)
 - Paint to *Bristol Australian Heritage Paint Colours*, according to year/period of construction (or equivalent colours in other brand paints)
 - o Wall (weatherboard) *within* the core township heritage precinct (new buildings)
 - Paint selected from the full range of *Bristol Australian Heritage Paint Colours*, (or equivalent colours in other brand paints)
 - o Wall (weatherboard) *outside* the core township heritage precinct (new buildings)

- Paint selected from the full range of either *Dulux Exterior Collection Weatherboard Paint Colours* or *Dulux Exterior Collection Colorbond Paint Colours* (or equivalent colours in other brand paints)

Performance Criteria:

- Walls clad in timber weatherboard, brick or well set and laid stonework.
- Walls in the core township heritage precinct to match existing.
- Roofing in traditional corrugated steel, including 'Colorbond' in approved colours.
- Harmonious colours associated with the township's heritage character buildings, i.e. brick red, burgundy, beige, buff, brown and cream.

4.5. Roofs

Principles:

- The existing roof forms within the core township heritage precinct are to act as a model for new buildings or work to existing buildings, both within the core township heritage precinct and for the township as a whole.
- Materials are to be kept to a prescribed range, as noted in these guidelines and be appropriate to the type of building.
- Roof structures and additions should be appropriate to the type of building.

Within the core township heritage precinct, roof characteristics are to be as follows:

Roof Form

Commercial & Municipal

Parapets to the street front with pitched roofs behind

No eaves generally. Exceptions are the municipal buildings on Camp Street

Verandahs are common over the pavement to within 200mm of the kerb edge

Residential

Pitched roofs with pitch between 25–40 degrees

Simple saddleback (gabled), hipped and gambrel (dormer gables) roofs

No eaves generally along Scandinavian Crescent. Later period buildings are mixed.

Verandahs and posts common as separate structures and spring from below the roof gutter of the main roof

Roof Materials Within the Core Township Heritage Precinct

Corrugated zincalume (galvanised) - the existing roofs are generally galvanised, and on rare occasions painted either grey or red. Neither of these colours have an equivalent colorbond or steel colour, therefore metal roofs are to be plain zincalume.

Slate - existing to a few buildings only: i.e., Court House, Post Office, Anglican Church, Old Station building. A case may be put to roof new buildings in true slate.

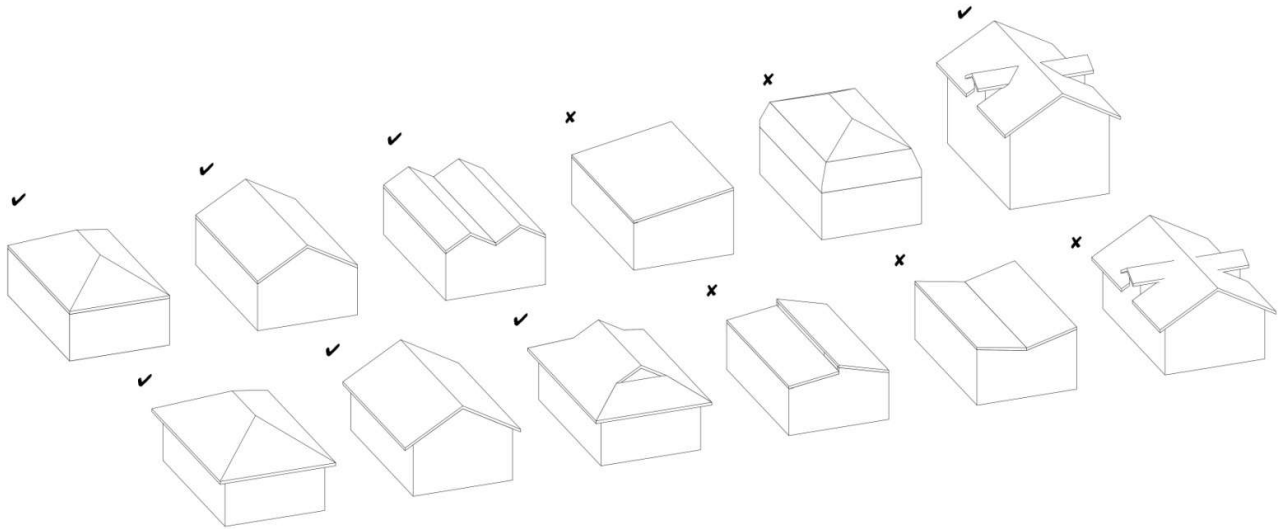
Outside the core township heritage precinct, roof characteristics are to be as follows:

Roof Form

Follow the same guidelines as those for the core township heritage precinct.

Roof Materials Outside the Core Township Heritage Precinct

Corrugated zincalume (galvanised) or colorbond steel, to colours as noted in 4.4 above.



Residential Roof Forms

Roof Structures and Additions

Chimneys

Chimneys generally are of simple brickwork, some with a degree of corbelling toward the top, particularly in the municipal buildings.

Barge Boards

These are generally simple, but there are exceptions, with more decorative styles, such as waveform.

Gutters and Downpipes

Those that have retained their original forms are few. Downpipes are round in cross section.

Roof Cappings

These vary, with a rolled or square capping suiting the veranda edge.

Performance Criteria:

- The existing roof forms within the core township heritage precinct are to act as a model for new work.
- New roofs shall have a form and use materials that match those shown as acceptable in this document.
- Roof detailing and additional elements shall reflect the type of building.
- Where Colorbond finishes are used, these are to use only those colours already in use within the core township heritage precinct.
- Gutters should follow heritage profiles, particularly half-round with external brackets. Downpipes are to be round in cross section.
- Guidelines for renovation/addition: Match the existing architectural details as much as possible. Do not over-embellish or reduce. Do not mix styles and types on the one building.



CHIMNEY FORM

4.6. Walls

Principles:

- Walls on existing buildings within the core township heritage precinct are to act as a model for new buildings or work to existing buildings, both within the core township heritage precinct and for the township as a whole.
- Materials are to keep to a prescribed range and be appropriate to the type of building.
- Wall structures should be appropriate to the type of building, as noted below.

Within the core township heritage precinct, wall characteristics are as follows:

Wall materials

Commercial

Face brickwork or rendered brickwork is used mainly in the commercial buildings. This is generally plain with simple mouldings and corbels to the parapets. The municipal buildings have more ornate polychromatic brickwork and mouldings. Some commercial buildings have a degree of lightweight cladding to areas above verandahs or to the side and rear walls.



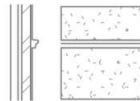
FACE BRICKWORK
-Pressed red brick to match the predominant colour & joint treatment



WEATHERBOARD
-Painted square-edged weatherboards in select heritage colours

Residential

Weatherboards predominate, but there are some masonry buildings. Buildings built after WW1 have been influenced by the Californian bungalow style and have characteristically mixed wall types, including rendered or painted fibro cement (FC) sheet.



CEMENT RENDER
-Grey cement render with sparingly utilised mouldings to break wall face

Wall additions

Old signage can be seen on a number of buildings, mainly commercial or having a commercial past. These add to the charm of the streetscapes and should be retained. If the base structure is in need of replacement, care should be taken to record and preserve the signage in another form.

Where more than one material is used on a building, traditional divisions and break-up of surfaces are to be adopted. That is, either as an horizontal line matching sill levels, or at wall interfaces

Fences

Fences both within and outside the core township

heritage precinct shall have a degree of transparency.

Materials shall be as follows:-

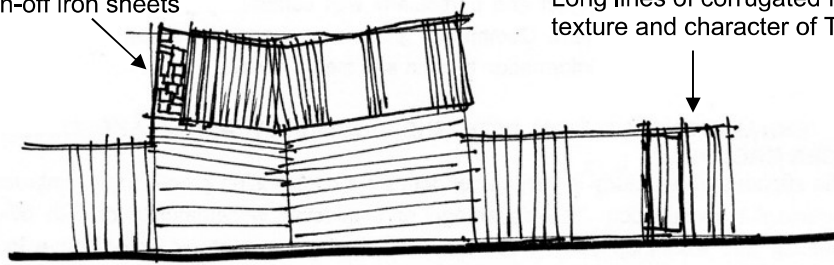
Front and side boundaries to streets are to be maximum 1 metre high in either painted pickets or woven wire with square painted timber posts. Wall colours above apply.

Rear boundaries to laneways are to be a maximum of 1.8 metres high, in either painted pickets, woven wire with square painted timber posts, or corrugated (vertical aligned) zincalume within the core township heritage precinct or colorbond outside the core township heritage precinct.

MATERIALS

Original shingle fabric under blown-off iron sheets

Long lines of corrugated fencing degrades the texture and character of Talbot



Dilapidated buildings in back streets require simple maintenance and should not be left to rot or collapse

Performance Criteria:

- The existing wall types within the core township heritage precinct are to act as a model for new work.
- New walls shall have a form and use materials that match those shown as acceptable in this document.
- Wall detailing and additional elements shall reflect the type of building.
- New infill buildings should reflect but not necessarily mimic the predominant adjacent existing building materials.
- Where more than one material is used, change should occur at internal wall junctions defining, for example, a separate wing of a building, or should be at a horizontal line defined by a moulding and aligned with a building element such as a window sill. Where a horizontal division occurs, lighter weight materials should be above heavier materials.
- Guidelines for renovation/addition: Match the existing architectural details as much as possible. Do not over-embellish or reduce. Do not mix styles and types on the one building.

4.7. Windows

Principles:

- Windows on existing buildings within the core township heritage precinct are to act as a model for new buildings or work to existing buildings within the core township heritage precinct.
- Materials and detailing is to keep to a prescribed range and be appropriate to the type of building.
- Window form and articulation should be appropriate to the type of building.

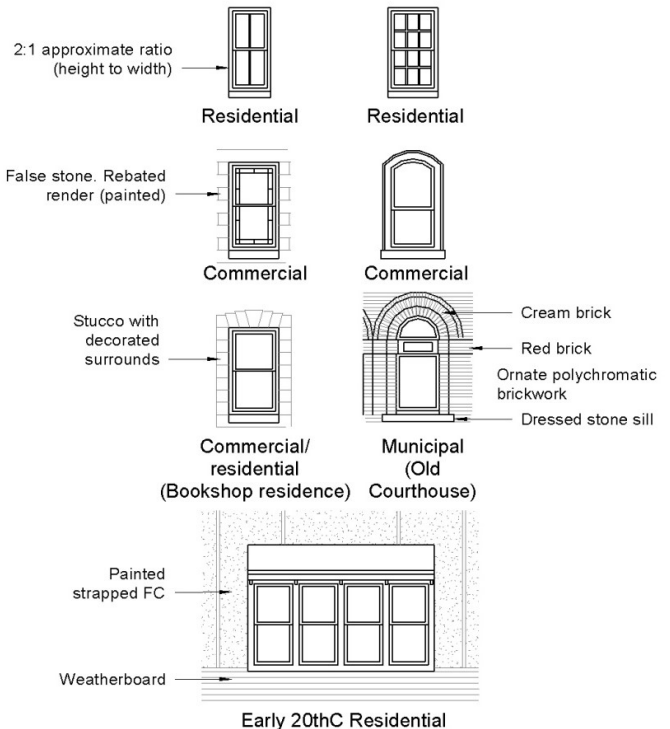
Within the core township heritage precinct, window characteristics are as follows:

Shape

The buildings in the precinct have windows with predominantly a height:width ratio of approx. 2:1.

Form

Typically these are double-hung sash windows, with a varying level of detail. Most have single, double or six panes per sash,



WINDOW TYPES - EXISTING FOR REFERENCE

but some have a more ornate break-up and colour.

Surrounds

Most window surrounds are simple, with the windows set into the wall finish with a reveal. In few instances, there are more ornate surrounds, particularly on the municipal buildings, with highlight materials and ornamentation.

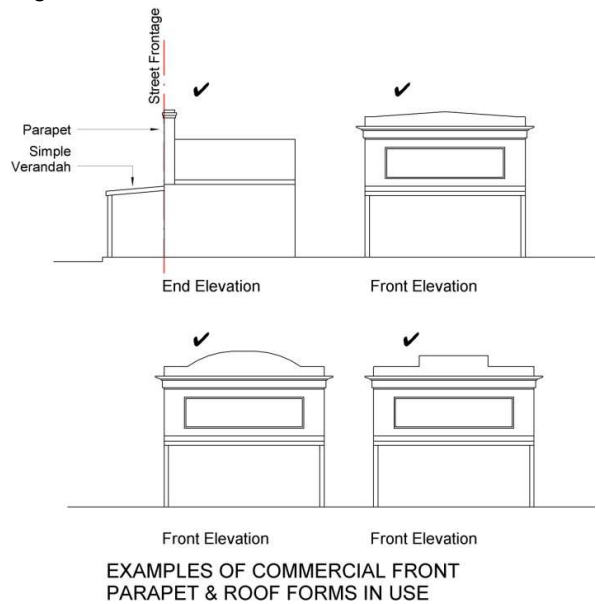
Performance Criteria:

- The existing window types within the core township heritage precinct are to act as a model for new work.
 - All new buildings and additions shall be fenestrated in a manner that is sympathetic to adjacent buildings, but avoid copying an earlier period.
 - All windows shall follow proportions that are approximately a height:width ratio of 2:1 and shall be double-hung sash style. Single pane per sash is required. Ornamentation is to be avoided.
 - Outside the core township heritage precinct window proportions and size should be appropriate to the style of building.
 - Window detailing shall reflect the type of building.
 - Guidelines for renovation/addition: Match the existing architectural details as much as possible. Do not over-embellish or reduce. Do not mix styles and types on the one building.
- New buildings should avoid reproduction of earlier styles

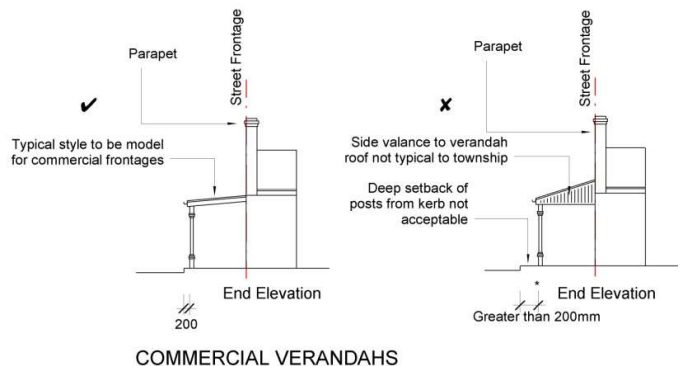
4.8. Eaves and Verandahs

Principles:

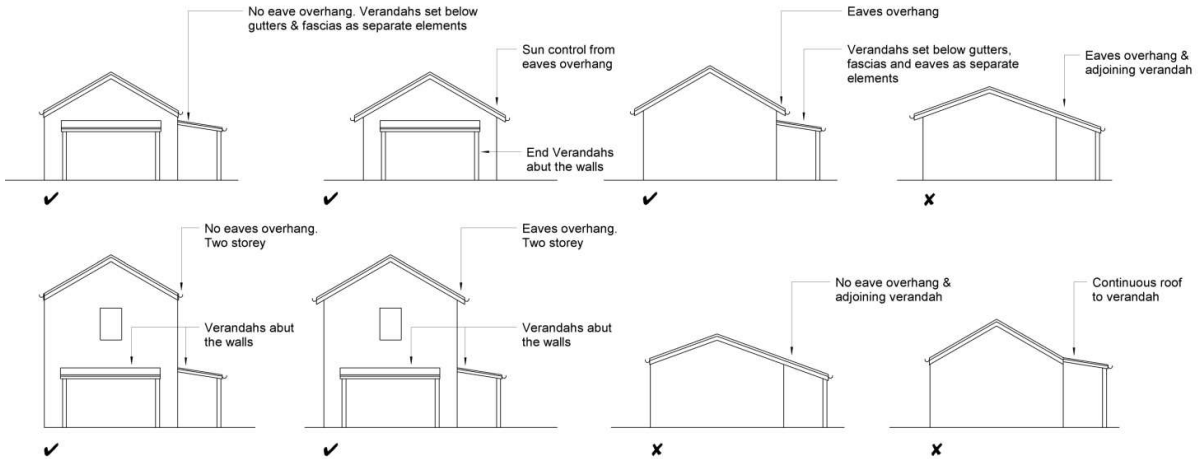
- Eaves and Verandahs on existing buildings within the core township heritage precinct are to act as a model for new buildings or work to existing buildings, both within the core township heritage precinct and for the township as a whole.
- Commercial buildings along Scandinavian Crescent and returning into adjacent roads generally have no eaves, and have parapet frontages with separately abutting verandahs that span across pavements.
- Municipal buildings along Camp Street include the Post Office and Court House, which have eaves overhangs but no verandahs. Further down Camp Street are much simpler, hall-like buildings that have no eaves and formal gabled frontages
- Residential buildings are mixed, the older buildings having no eaves and achieve shading with verandahs that abut the walls, springing from below the gutter fascia. Later buildings have eaves overhangs, but the verandahs remain as abutments to the wall face below the gutter fascia.



EXAMPLES OF COMMERCIAL FRONT PARAPET & ROOF FORMS IN USE



COMMERCIAL VERANDAHS



RESIDENTIAL EAVES AND VERANDAHS

Verandahs and eaves are an important element for modulating the climate; the form remains an important part of the character of the township

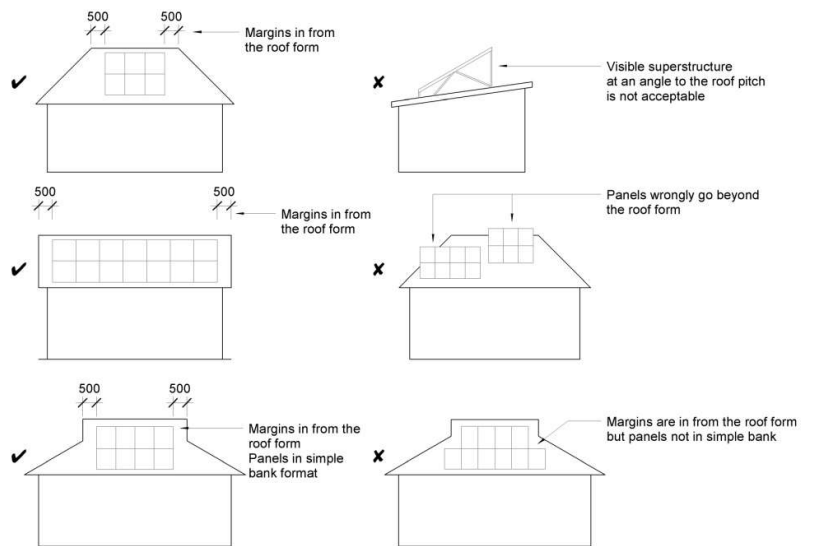
Performance Criteria:

- The existing eaves and verandahs types within the core township heritage precinct are to act as a model for new work.
- New work within the core township heritage precinct are to reflect the dominant form of the like buildings in the same street.
- New work outside the core township heritage precinct is to follow the approved form as noted, with appropriate sun control, including verandahs to the northern elevation.

4.9. Energy efficient buildings and sustainable design elements

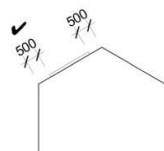
Principles:

- The use of modern finishes associated with energy efficient buildings such as solar panels and water storage tanks, must not dominate the external appearance of a building.
- Rain water harvesting is to be encouraged.
- The utilisation of passive solar design is encouraged as long as the building expresses the original allotment definition in their facade and/or form.



Performance Criteria:

- Solar panels, where permitted must not overhang the roof edge. They should be in simple rectangular banks, not staggered, which have a margin to the roof edge as noted.
- Solar panels are discouraged on frontages to heritage buildings visible from the street(s) or along a significant view-line.



SOLAR COLLECTORS, AIR CONDITIONERS ETC

Keep panels & units within the body of the roof form and keep banks of panels in simple rectangular format

- Rain water harvesting, solar panels and other sustainable design elements must not create visual clutter.
- Rain water storage tanks should be constructed using corrugated profile material and should be circular in plan or straight sided with circular ends and in muted heritage colours. Air-conditioning units are not to be visually located on rooftops. Split system condensers are to be located at ground level and concealed from the roadway. All associated pipe-work is to be concealed.

4.10. Open drainage channels within streets and public open space

Principles:

- Some streets within Talbot have in parts deep open drains, these contribute to the rural and informal character of the township.
- The recently reconstructed bluestone kerb and channelling to key streets within the core township historic precinct is a feature.
- Water sensitive urban design solutions such as bio retention cells and rain gardens need to be adopted in future capital work improvements to public spaces.

Performance Criteria:

- Monitor the efficiency of the open drains in terms of stormwater dispersal.
- Monitor the condition of the open drains with regard to potential pollution by partly treated effluent. Once reticulated sewerage is installed this will no longer be an issue.
- Retain the bluestone kerb and channel to the core township historic precinct.

4.11. Greenfield development

Principles:

- There are numerous vacant allotments in the township zone, with a broad range of sizes ranging from 120 to 500 square metres.
- Consolidation of the smaller allotments in the range of 120 to 300 square metres will assist in maintaining the visual permeability of the township zone. A minimum lot size for development is set at 400 square metres.
-

Performance Criteria:

- Once reticulated sewerage is installed, appropriate development on even small allotments will be more achievable. A minimum lot size for development is set at 400 square metres
- Encourage consolidation of small allotments currently 120 to 300 square metres into larger allotments with a minimum site of 400 square metres.

5. A PERMEABLE LANDSCAPE

5.1. View-lines

Principles:

- Significant views within a township improve way finding and contribute to a sense of place.
- The views from the outer roads and allotments looking into the township centre are important aspects of Talbot's township character. It reinforces the need for Urban Design Guidelines.
- Maintain view-lines to surrounding rural land and the more distant forested areas.
- Use built form, laneways and gaps between buildings to provide views of significant sites and vegetation at the rear of properties. Often the views are quite subtle and specific.
-

Performance Criteria:

- Location and design of buildings and vegetation does not restrict existing views to distant landscapes or significant buildings.
- Laneways to have clean edges and borders i.e. upright and continuous fencing along boundaries and to be free of clutter, and where possible specimen tree planting, in accordance with 5.2 *Vegetation Patterns*.
- Gap/s between proposed development and adjoining properties, or within developments, provide sightlines to rear landscaping in compliance with 4.1 *Development density* and minimise built form dominating the environment.

5.2. Vegetation Patterns

Principles:

- The many gardens to residential properties in the township reinforce Talbot's domestic character and scale.
- Select and locate trees and planting to create attractive aesthetic relationships between vegetation and built form.
- The use of green walls and green roofs is encouraged as a sustainable design element in compliance with 4.3 *Architectural detailing*
- The use of laneway edges as opportunities for the establishment of trees in compliance with 5.1 *View-lines*
- Development should retain and protect significant existing vegetation on a site
- Street trees play an important part in contribution to amenity, biodiversity and social well-being
- Peppercorn trees are a dominant tree form in the vicinity of Ballarat and Heales Streets

Performance Criteria:

- A preferred street tree species list (Figure 4) is included in the guideline document.
- Monitor the health and condition of Peppercorn trees to prolong their life span. Plant additional Peppercorn trees as succession planting where space permits as street trees and within private properties.
- On private property, tree envelope areas need to have at least 40 square metres for trees to grow and develop. Trees need to keep an appropriate distance from buildings, particularly masonry and bluestone construction.
- Trees of between 10 – 15 metres height need at least 8 metres clearance to buildings.
- Trees of between 6 – 10 metres height need at least 5 metres clearance to buildings.
- Trees of up to 5 metres in height need at least 4 metres clearance to buildings.
- In case of weatherboard buildings, clearance dimensions can be reduced by up to 30%.

5.3. Pedestrian permeability and comfort

Principles:

- Footpaths need to be DDA and accessibility compliant in terms of materials (nonslip) levels, cross fall, interface to infrastructure such as poles and signs, verandah posts.
- The township is pedestrian friendly having recent improvements to kerbsides and footpaths.

Performance Criteria:

- Footpaths to be either black asphalt or grey charcoal coloured concrete.
- Provide seats at regular intervals along key streets including Camp Street and parts of Ballarat Street and Scandinavian Crescent aside from those gathering spaces.

Note: Also refer to 6. SHELTER OUT OF DOORS for footpath treatments within the heritage town centre, in particular associated with verandahs.

5.4. Entrances

Principles:

- Design and provide township entrances that are welcoming and focus on key vistas and view lines. They must provide images that become points of orientation and memory for the traveller. Entrances should reflect the township's sense of place and/ or attractions and link the township to the region.
- Consider composite new graphic sign(s) as an entrance sign that highlights Talbot's existing attributes including heritage buildings and a slogan.
- Involve the local community in the selection of appropriate branding themes and images for the gateway entrances on Ballarat - Maryborough Road.
 - (a) Bond Street and Ballarat - Maryborough Road
 - (b) Fraser Street and Ballarat - Maryborough Road
 - (c) Camp Street at Ballarat - Maryborough Road
 - (d) Ballarat Street North at Crespigny Street intersection with Ballarat - Maryborough Road.

Performance Criteria:

- To the existing stone wall entrance signs, establish background tree planting to emphasise the entrance statement.
- Uplighting of public artwork at each of the three entrances
- Provide graphic signage to replace the existing signage. The new signage should depict features of the township such as historic buildings, the Sunday market, craft and art produced by locals for sale in the shops within the township.

6. SHELTER OUT OF DOORS

6.1. Verandahs

Principles:

- Verandahs should be incorporated into the facade design of retail and commercial developments within the core township heritage precinct, and shelter the public footpath where development is to the front boundary.
- The provision of shelter from wind, rain and sun has a significant impact on the ability of people to enjoy the core township heritage precinct.

Performance Criteria:

- Verandahs are consistent in pole location to the building frontage to avoid disruption for the footpath use.
- Verandahs are to be of similar height, size and material to the existing verandah character within the core township heritage precinct and appropriate to the centre of the town.
- Colour palette of the verandahs to match the associated building and does not stray from the harmonious colours associated with the townships heritage character.

Note: Generally follow the colour guidelines in 4.4 above. Use of brighter colours in the immediate setting of retail shops, etc within the core township heritage precinct may be appropriate to evoke a gold-mining town atmosphere.

6.2. Active frontages**Principles:**

- The ability of people to walk, window shop, talk and stop and enjoy the ambience and activity within the street and core township heritage precinct is central to town life.
- Building street facades which include large windows, doors and appropriate signage are welcoming and appropriate in the core township heritage precinct.
- Active building uses and window displays should be located at the street frontage rather than covered windows.

Performance Criteria:

- All public areas to have all-ability access to DDA compliance.
- Encourage owners of shops with windows to display either their goods of business or other information preferably promoting the township and the region.

7. AN ACTIVE TOWN**7.1. Gathering and Key Activity Locations****Principles:**

- Talbot has a gathering focus around Scandinavian Crescent, in particular during the monthly Farmers Market conducted on every third Sunday of the month. (The market attracts 3000 – 4000 visitors on each day.)
- The life of the township depends on concentrating commercial and public functions in the core township heritage precinct.
- London House, the Crescent Community Centre and Talbot Pioneers Memorial Playground Reserve are key public gathering places and their setting should not be compromised. Similarly, the Post Office and Court House has its own civic forecourt space on Camp Street. The former Courthouse buildings on Camp Street are key gathering places, though not located in the core gathering area of the core township heritage precinct.
- Business activities that generate pedestrian movement and street activity should be encouraged in the core township historic precinct.

Note: Refer also to 6.2. Active frontages.

Performance Criteria:

- Retail and commercial development is consolidated within the core township heritage precinct and in particular contain and concentrate business activity along Scandinavian Crescent.

- Building articulation within the core township historic precinct (refer also 4.3 Architectural detailing).

7.2. Furniture palettes

Principles:

- A consistent furniture palette of seats, benches, light poles, litter bins, etc creates cohesion and sense of place.
- Varying furniture styles retained to particular areas can define a precinct and influence/ reflect the character of the area.

Performance Criteria:

- Furniture within the outer township area is of a more modern appearance.
- Furniture within the core township historic precinct is to be of a 'heritage' style' and consistent with the existing style used near the existing Post Office, i.e. burgundy colours, iron work, timber, etc.
- Maintain the existing heritage interpretive information signage palette (Two types are currently used).

Street Furniture Materials Palette



Furphy Foundry 'Sovereign Seat'



Street Furniture Australia 'Classic Promenade Seat'



Furphy Foundry 'Promenade Picnic Setting'
Picnic Setting' (Wheel Chair Accessible)



Street Furniture Australia 'Park DDA Setting' (Wheelchair accessible)



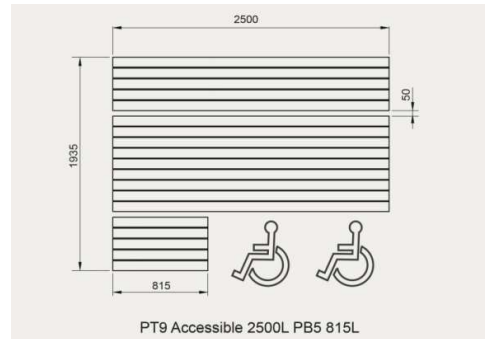
Billmans Foundry 'Pyrene' Street Light



Vic Pole 'Manningham'



WE-EF 'ZA640' Street Light



Street Furniture Australia 'Park DDA Setting' (Wheelchair accessible)



Blue Stone in random ashlar bond (Photo from St Paul's Cathedral, Melbourne)



Asphalt Surfacing suitable for footpaths



Street Furniture Australia 'Arqua Station'
(Custom mosaic pattern)



Street Furniture Australia 'Arqua Station'
(Black)



Furphy Foundry
'London' Bollard



Furphy Foundry 'London'
Drinking Fountain



Furphy Foundry 'Avenue' Litter Receptacle



Street Furniture Australia
'Semi Hoop'



Street Furniture Australia 'Semi Hoop'

7.3. Adaptive re-use of existing buildings

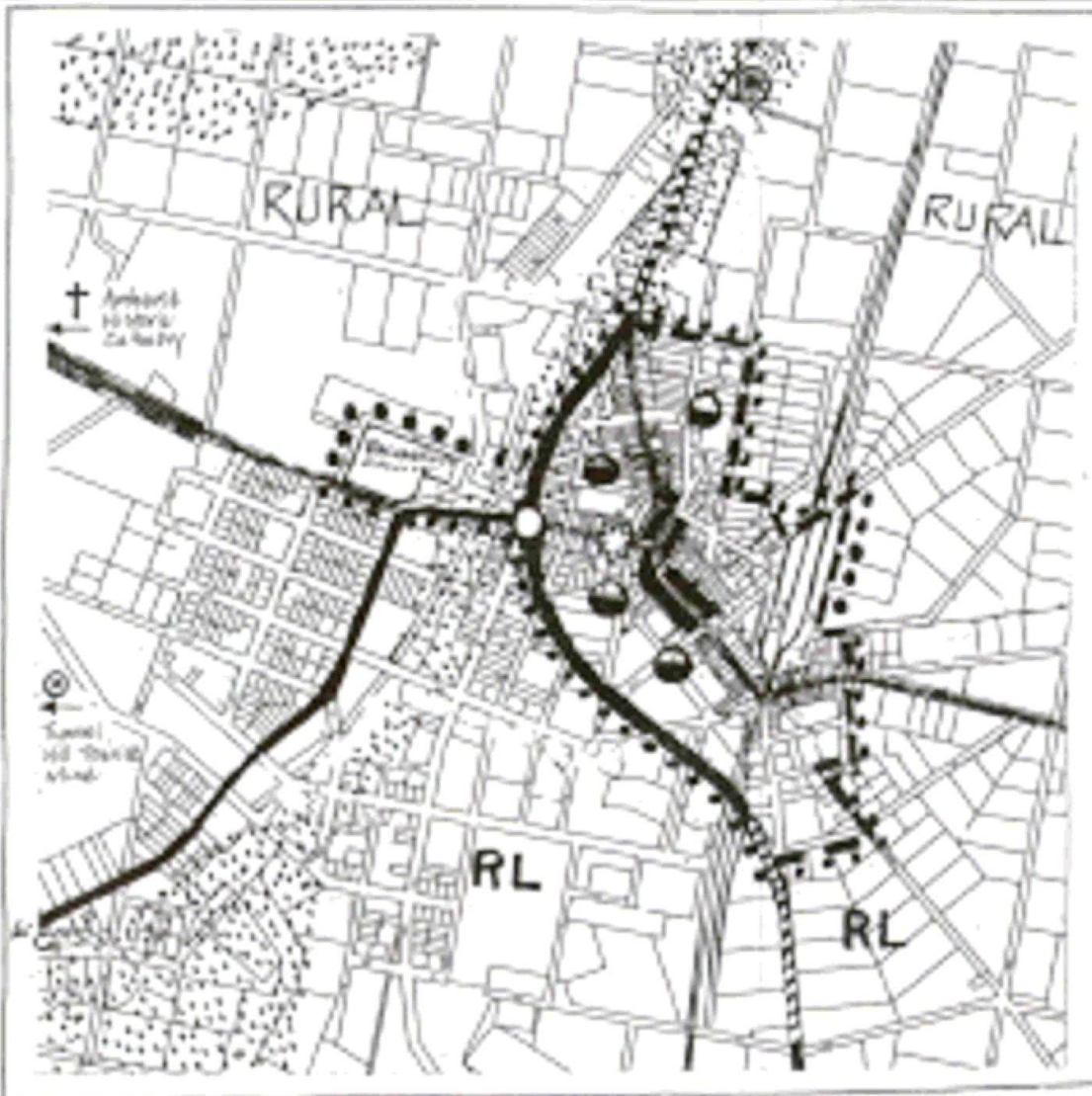
Principles:

- Existing gold rush township buildings generally possess character qualities that cannot be easily replicated in modern building.
- Old buildings from the Victorian and Edwardian era should be retained and adapted to new uses where possible.
- Old buildings need to be regularly maintained.

Performance Criteria:

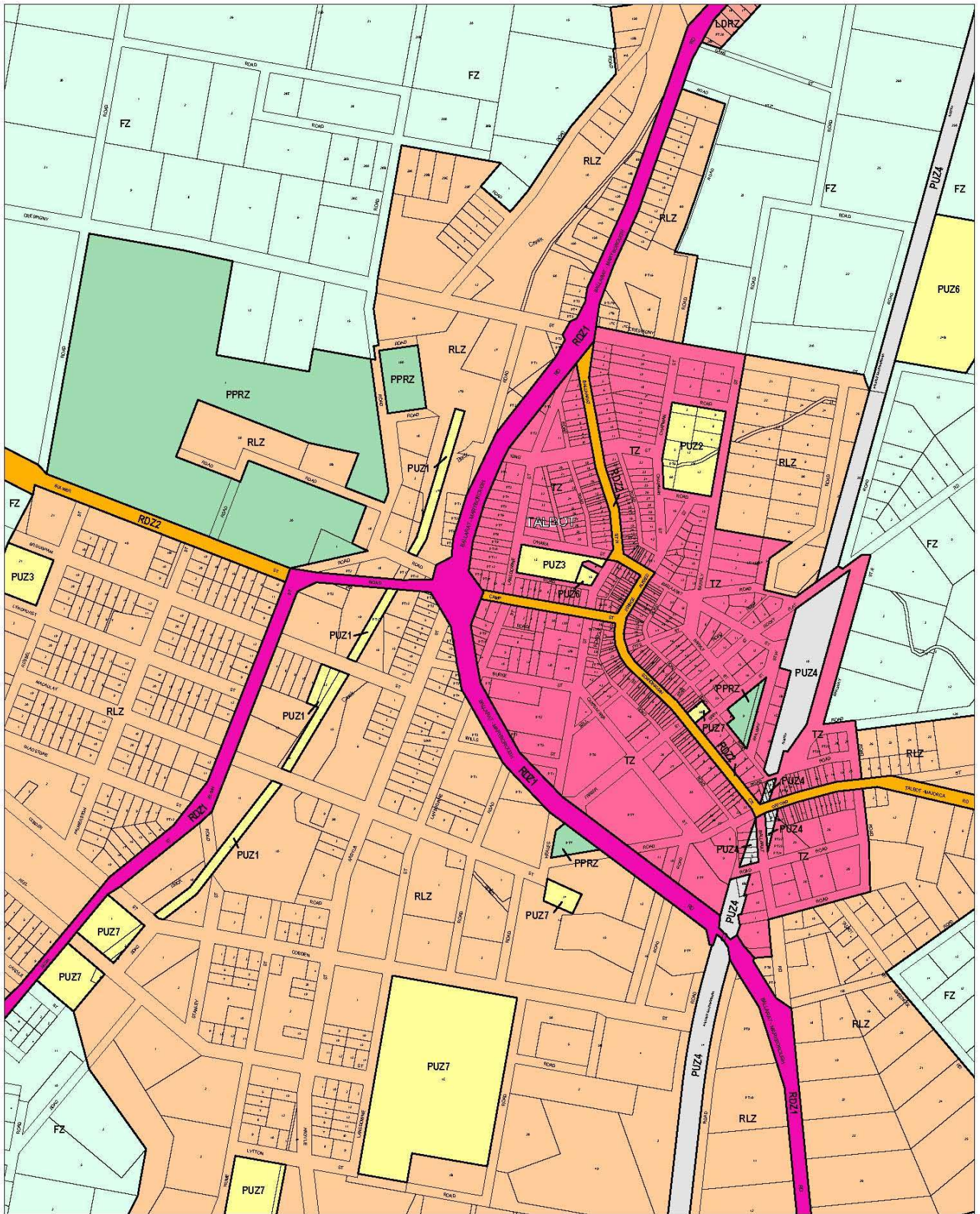
- Encourage vacant landlords of any former shops and public buildings to have their building occupied and preferably used in day to day retail or community based activities.
- Any modifications to old buildings of the Victorian and Edwardian era need to conform to the Urban Design Guidelines.

TALBOT Structure Plan



- | | |
|---|--|
| <ul style="list-style-type: none"> •••• Township Boundary <ul style="list-style-type: none"> • Limit new urban development to within defined township boundary. ○ Conservation Precinct <ul style="list-style-type: none"> • Protect and enhance historic urban form, heritage buildings and streetscapes. ☾ Sundowner Crescent Precinct ☼ Heritage Civic Precinct <ul style="list-style-type: none"> • Preserve heritage significance of grouping of civic buildings. ● Town Central Entry Point. Improve visual image and impacts. | <ul style="list-style-type: none"> ○ Town Entrances. <ul style="list-style-type: none"> • Investigate options to improve visual appearance of entrances, including roadside plantings. ○ Serviced Lot Residential Development <ul style="list-style-type: none"> • Promote more compact urban form to maximize efficiency of proposed sewerage. RL Rural Living Areas. ☼ Limit Liability to Landscaping (Apply to L510 overlay for accurate boundaries) ⊕ Improve visual clarity of town entry/exit |
|---|--|

Figure 2



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This map should be read in conjunction with additional Planning Overlay Maps (if applicable) as indicated on the INDEX TO MAPS.

Public Land		Road Zone Category 2	
PUZ3	Public Park and Recreation Zone	RDZ1	Residential
PUZ4	Public Use Zone Education	RDZ2	Low density Residential Zone
PUZ5	Public Use Zone Health and Community	TZ	Township Zone
PUZ6	Public Use Zone Local Government	PZ	Parking Zone
PUZ7	Public Use Zone Other Public Use	RLZ	Rural/Living Zone
PUZ8	Public Use Zone Service and Utility		
PUZ9	Public Use Zone Transport		
	Road Zone Category 1		



TALBOT ZONING PLAN

Figure 3

Figure 4 - Talbot – Recommended Street and Park Tree List

The following list are suitable tree species for use as street trees and parkland open space areas in Talbot. They are hardy species tolerant to frosts and dry conditions. Those marked with (x) would be suitable for planting under overhead power wires.

(X)	Botanical Name	Common Name
	<i>Acer freemanii</i> "Autumn Blaze"	Norwegian Maple
	<i>Acer rubrum</i> "October Glory"	Norwegian Maple
	<i>Allocasuarina littoralis</i>	Black Sheoak
	<i>Allocasuarina glauca</i>	Grey Buloke
	<i>Angophora costata</i>	Smooth-Bark Apple-Myrtle
	<i>Brachychiton populneus</i>	Kurrajong
X	<i>Callistemon</i> "Harkness Hybrid"	Bottlebrush
	<i>Celtis occidentalis</i>	Hackberry
	<i>Corymbia citriodora</i>	Lemon Scented Gum
X	<i>Corymbia citriodora</i> "Dwarf Pink"	Lemon Scented Gum
X	<i>Corymbia citriodora</i> "Lemon Squash"	Lemon Scented Gum
	<i>Cupressus torulosa</i>	Bhutan Cypress
X	<i>Eucalyptus cladocalyx</i> "Vintage Red"	Dwarf Sugar Gum
	<i>Eucalyptus leucoxylon</i>	Yellow Gum
	<i>Eucalyptus leucoxylon</i> "Rosea"	Red-Flowered Yellow Gum
	<i>Eucalyptus leucoxylon</i> "Goowla Gem"	Red-Flowered Yellow Gum
X	<i>Eucalyptus leucoxylon</i> "Euky Dwarf"	Dwarf Yellow Gum
	<i>Eucalyptus mannifera</i>	Brittle Gum
	<i>Eucalyptus mannifera</i> "Little Spotty"	Dwarf Brittle Gum
	<i>Eucalyptus melliodora</i>	Yellow Box
	<i>Eucalyptus sideroxylon</i>	Ironbark
	<i>Fraxinus pennsylvanica</i> "Urbanite"	Ash
X	<i>Hakea francisiana</i>	Grass Leaf Hakea
X	<i>Geijera parviflora</i>	Wilga
X	<i>Lagerstroemia indica</i> x <i>fauriei</i> (Various Cultivars)	Crepe Myrtle
X	<i>Melia azedarach</i> "Elite"	White Cedar
	<i>Pyrus calleryana</i> (Various Cultivars)	Ornamental Pear
	<i>Quercus cerris</i>	Turkey Oak
	<i>Robinia pseudoacacia</i> "Frisia"	Black Locust
	<i>Schinus molle</i>	Peppercorn